

ANTIOCH CHURCH OF GOD IN CHRIST SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: No water or sewer services available.

The plat illustrates the proposed 4 lot, 10 acre \pm subdivision which is located on the South side of McLeod Road, 4250' \pm West of Dawes Road. The applicant states that the subdivision is served by public water and individual septic tanks.

The purpose of this application is to create 4 (four) legal lots of record, three of them being flag-shaped lots, from an existing metes and bounds parcel.

This same site was approved by the Planning Commission for a three-lot subdivision, with two lots being flag-shaped lots, on April 7, 2011. The applicant now wishes to increase the number of lots.

With the exception of the proposed Lot 1, all of the lots are flag shaped lots. The flag lots do not appear to meet the standards for flag lot approval as per Section V.D.1. of the Subdivision Regulations. As no evidence has been provided that this is a family subdivision, and the fact that the owner of the property is a religious entity, the provision for family subdivision flag lots does not appear to apply in this case. The other provision for flag lots states that:

“Panhandle or flag lots shall generally not be allowed, but may be permitted only in those locations where varied and irregularly-shaped lot designs are common and the informality of design is consistent with other lots in the vicinity; or, where unusual circumstances such as an odd shaped lot exists; or, separate disparate uses exist on a single lot; or, where there are natural or pre-existing man-made barriers which may cause an undue hardship on the land owner...”

The site is wooded and undeveloped, and there does not appear to be any natural featured which precluded the building of a public roadway. Further, while there are flag lots in the area, there are no examples a two or more flag lots with the type of configuration as proposed in the application.

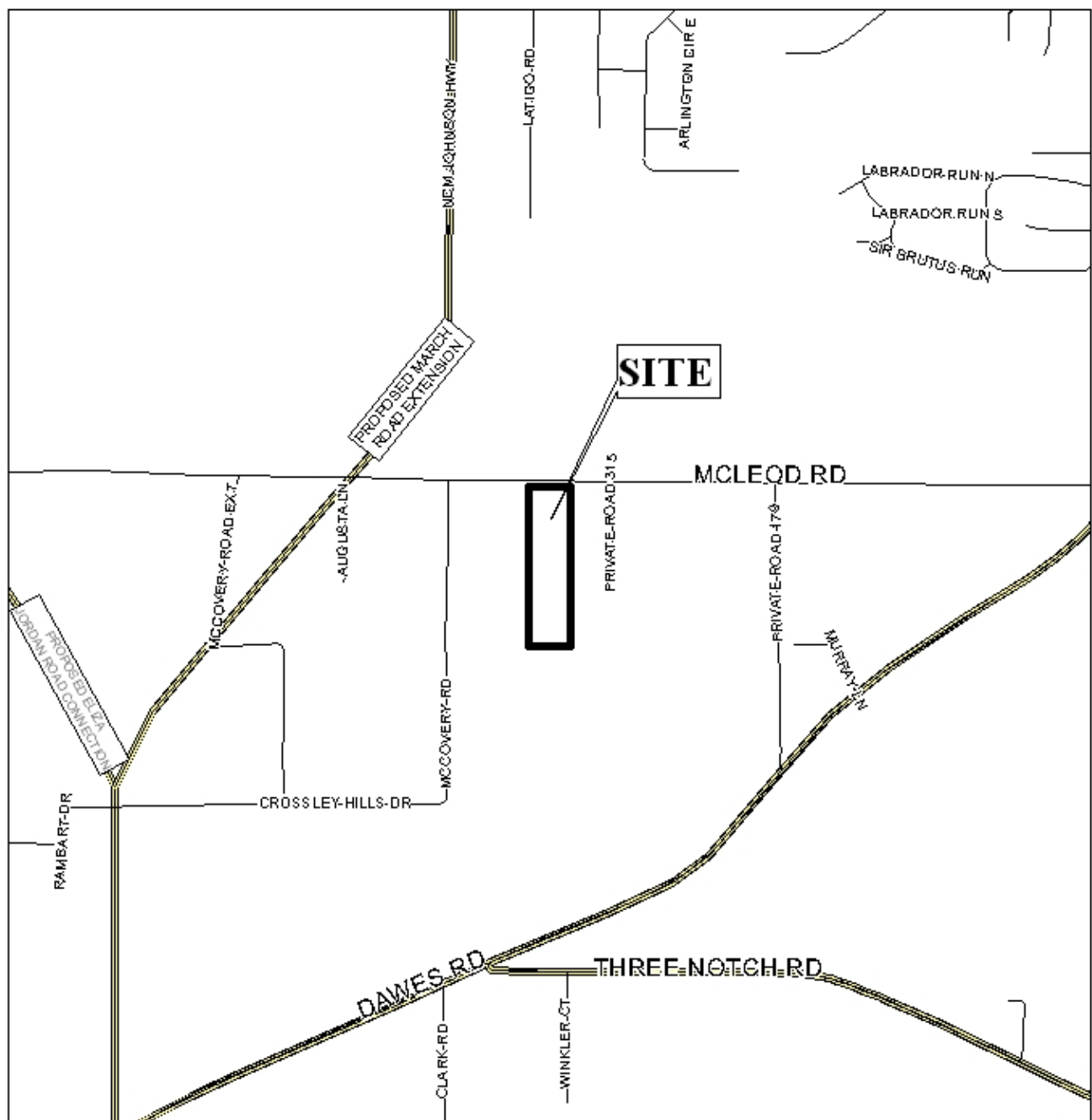
Section V.D.1. also states that *“Multiple panhandle or flag lots shall not be allowed as an alternative to road construction.”* In this case, the sum of the “poles” of the flag lots totals 75 feet in width, more than enough area to dedicate and construct a public, closed-end street and

eliminate the need for multiple flag lots. Because the site does not meet any of the criteria for flag lots, and because the proposed configuration of the lots is not consistent with or compatible with the existing development in the area, this request should be denied.

Based on the preceding, this application is recommended for Denial for the following reasons:

- 1) the subdivision does not comply with Section V.D.1. of the Subdivision regulations.

LOCATOR MAP



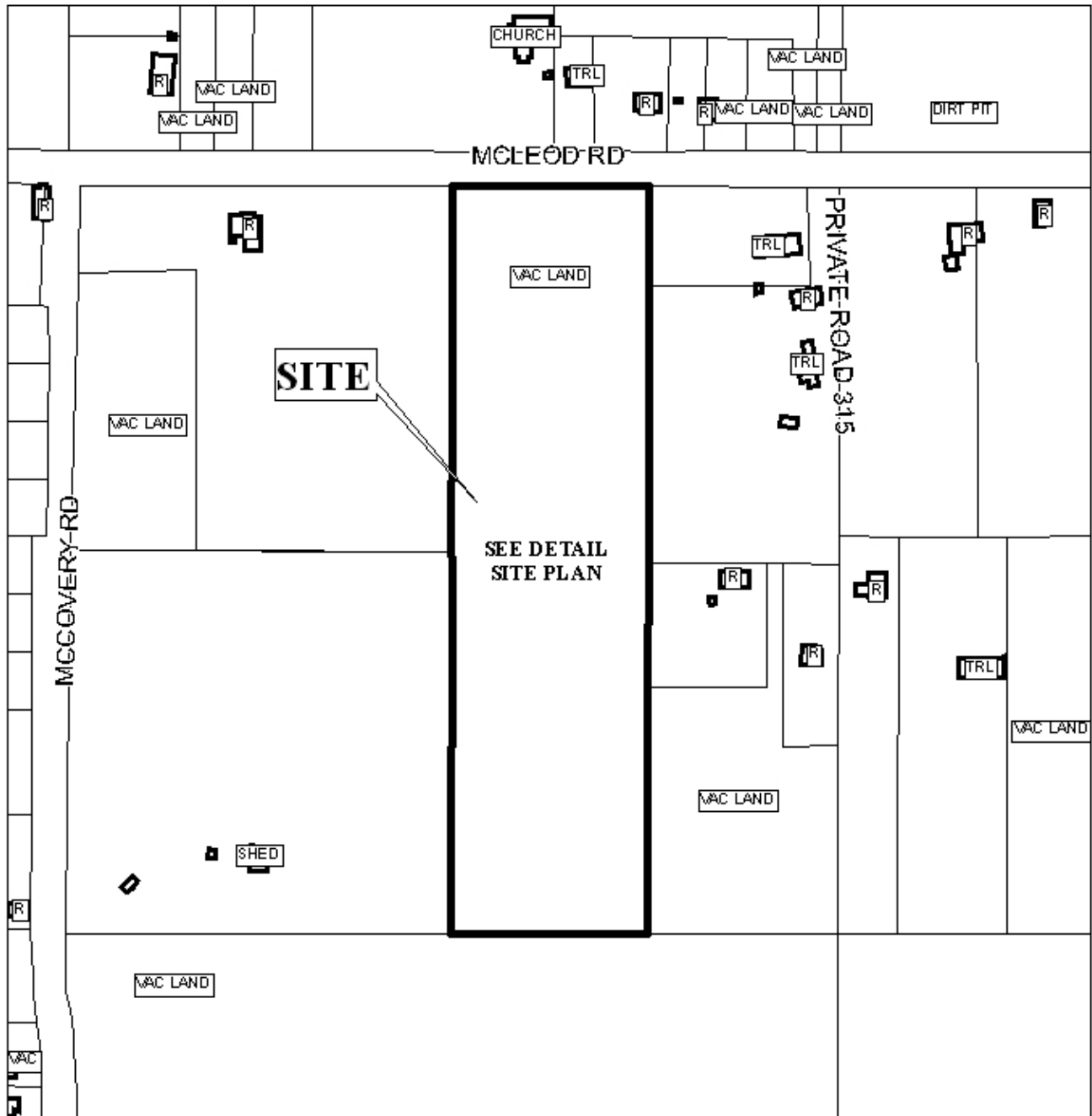
APPLICATION NUMBER 9 DATE July 21, 2011

APPLICANT Antioch Church of God in Christ Subdivision

REQUEST Subdivision



ANTIOCH CHURCH OF GOD IN CHRIST SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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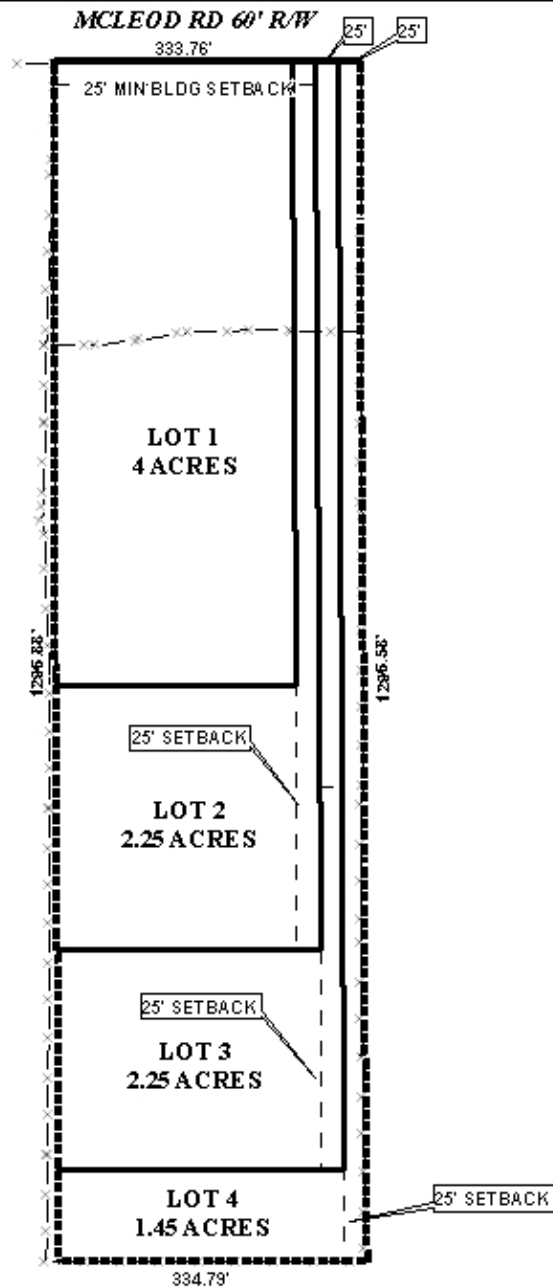
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DETAIL SITE PLAN



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