

## **ALVERSON COMMERCIAL PARK SUBDIVISION,** **RESUBDIVISION OF LOT 1**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering Inc.

The preliminary plat illustrates the proposed 2-lot, 3.9 ± acre subdivision which is located on the East side of Alverson Road South, 585' ± North of Airport Boulevard. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by both public water and sewer.

The intent of this application is to subdivide an existing legal lot, which was approved by the Planning Commission in 2005 as a 1-lot subdivision, into two lots. In accordance with the Subdivision Regulations, both proposed lots are compliant with the minimum size requirements. The 25-foot minimum building setback line and the lot sizes in square feet are illustrated on the preliminary plat and should be retained on the Final Plat if approved.

Both proposed lots have frontage along Alverson Road South, a minor street, which does not have curb and gutter. The existing right-of-way width of 60' is compliant with Section V.B.14. of the Subdivision Regulations and no dedication is required.

The proposed Lots 1 and 2 have one existing curb-cut each along Alverson Road South. As a means of access management, a note should be placed on the Final Plat limiting both lots to the existing curb-cuts, with any changes to be approved by Mobile County Engineering and conform to AASHTO standards.

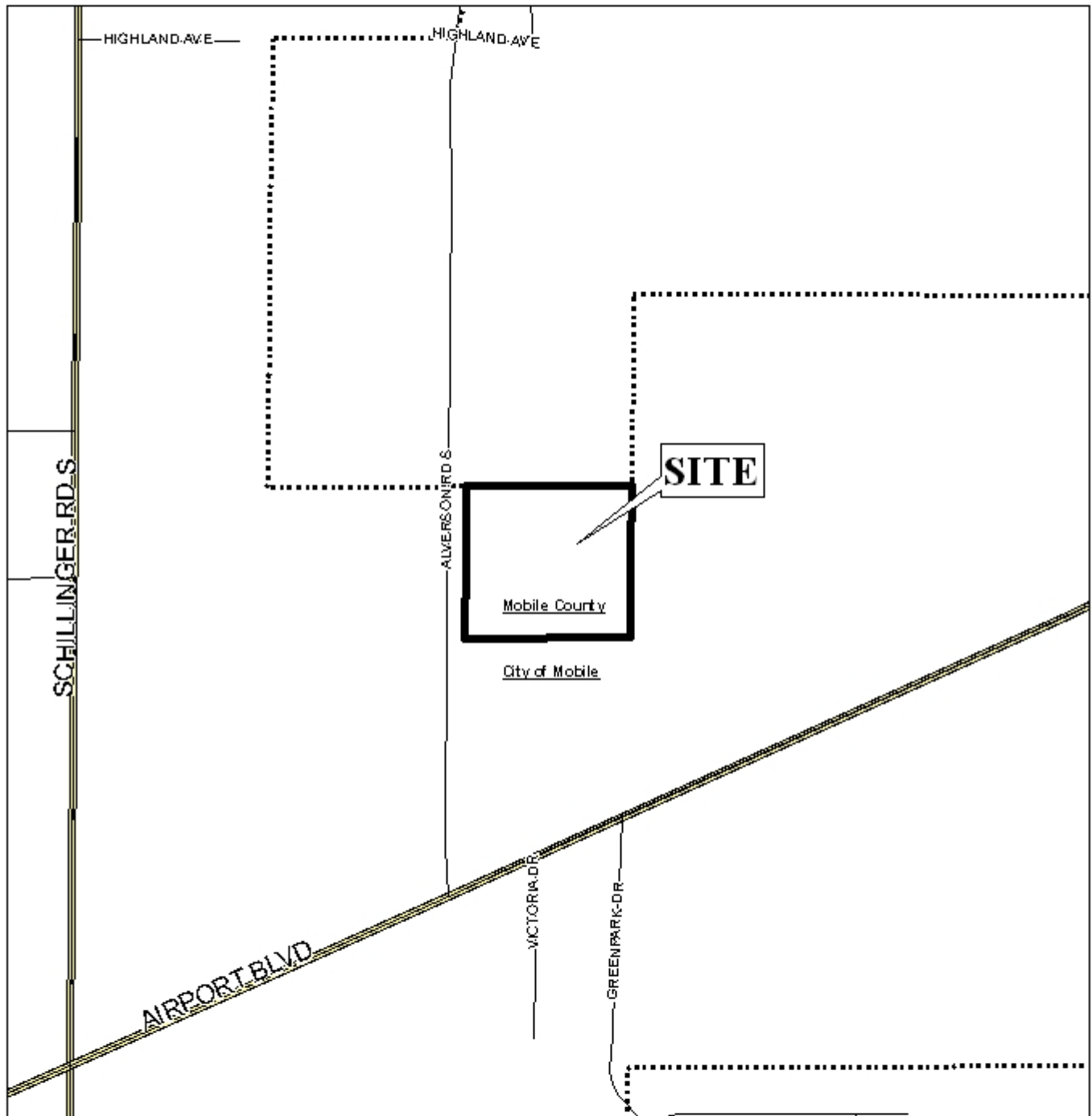
This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. The note regarding this requirement should appear on the Final Plat if approved.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. If approved, a note should appear on the Final Plat to reflect this requirement.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the lot size information and the 25-foot minimum building setback line on the Final Plat;
- 2) Placement of a note on the Final Plat limiting both lots to the existing curb-cuts, with any changes to be approved by Mobile County Engineering and conform to AASHTO standards;
- 3) Compliance with Engineering Comments and placement of a note on the Final Plat stating: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);*
- 4) Compliance with Fire Comments and placement of a note on the Final Plat stating: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 5) Placement of a note on the Final Plat stating: *(Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.);* and
- 6) Placement of a note on the Final Plat stating: *(This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.)*

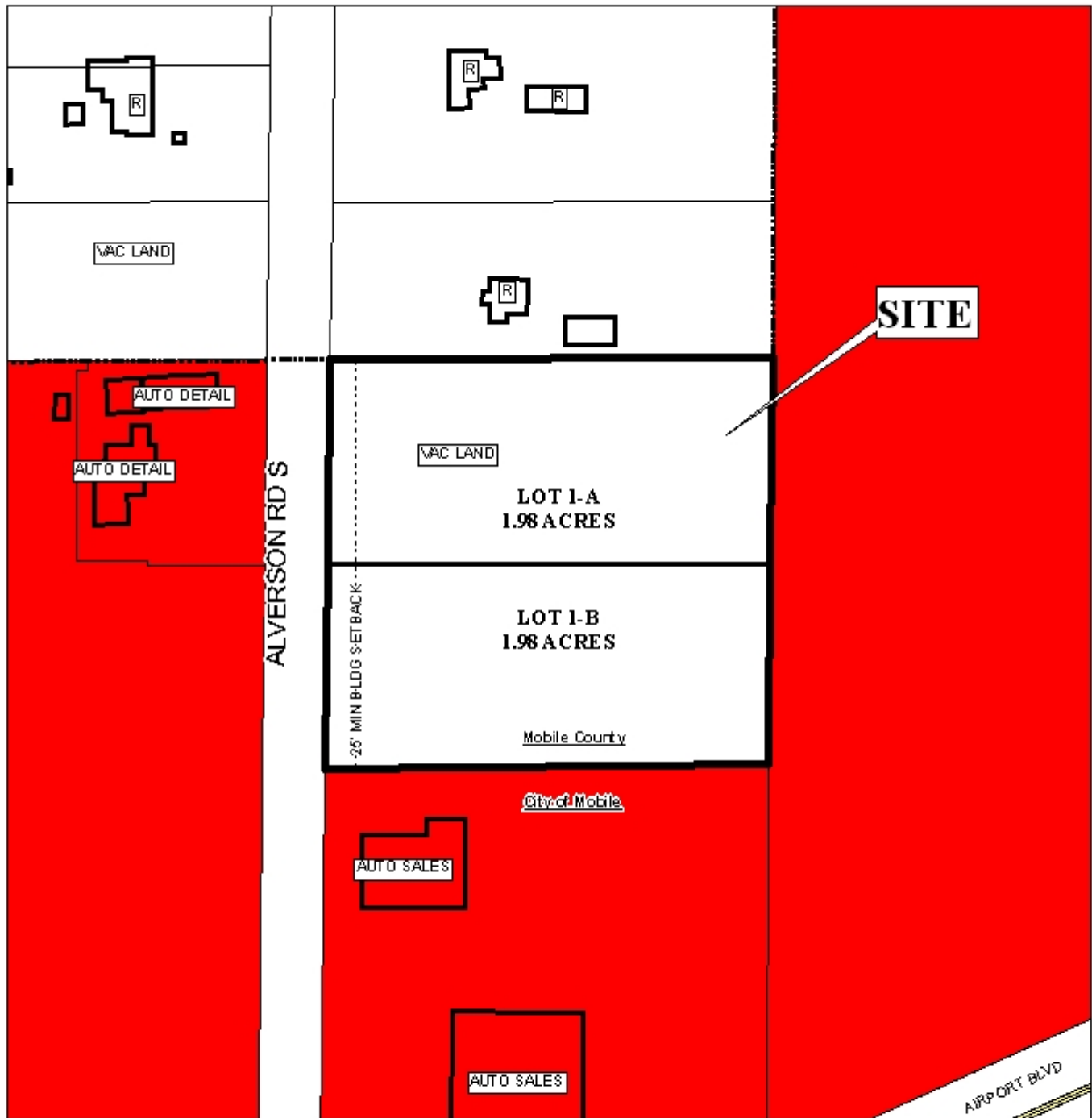
# LOCATOR MAP



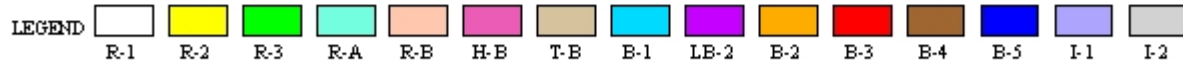
APPLICATION NUMBER 9 DATE September 5, 2013  
APPLICANT Alverson Commercial Park Subdivision, Resubdivision of Lot 1  
REQUEST Subdivision



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