

**SUBDIVISION &
PLANNED UNIT DEVELOPMENT
STAFF REPORT**

Date: May 20, 2021

DEVELOPMENT NAME

Warren Adhesives Subdivision

SUBDIVISION NAME

Warren Adhesives Subdivision

LOCATION

7858, 7860 and 7900 Zeigler Boulevard
(North side of Zeigler Boulevard, 420'± West of
Schillinger Road North).

**CITY COUNCIL
DISTRICT**

District 7

AREA OF PROPERTY

1 Lot / 3.4± Acres

CONTEMPLATED USE

Planned Unit Development Approval to allow multiple
buildings on a single building site with a reduced front
minimum building setback; and Subdivision approval to
create one legal lot of record.

**TIME SCHEDULE
FOR DEVELOPMENT**

Within one year of approval.

**ENGINEERING
COMMENTS**

Subdivision: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add additional street names to the vicinity map.
- C. Add a graphic scale.
- D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- E. Provide the Surveyor's Certificate.
- F. Provide the Surveyor's and Owner's (notarized) signatures.
- G. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 16 - #71) LOT 1 will receive historical credit of existing (1984) impervious

- area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control) as follows: LOT 1 – 14,000 sf.
- H. Add a note that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
 - I. Add a note that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
 - J. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
 - K. Add a note that all existing and proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
 - L. Add a note that all easements shall remain in effect until vacated through the proper Vacation process.
 - M. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing.
 - N. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the ORIGINAL (with all signatures except for the Planning Commission, Traffic Engineering, and City Engineer), one (1) copy, and a transmittal letter to the Engineering Permitting Department. They can be dropped off at 205 Government St. or mailed to PO Box 1827, Mobile, AL, 36633.

Planned Unit Development: ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by

- the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.
5. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
 6. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Site is limited to the driveways as illustrated on the approved PUD, with any changes in size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow multiple buildings on a single building site with a reduced front minimum building setback; and Subdivision approval to create one legal lot of record. The site is located in Council District 7, and according to the applicant is served by public water and sanitary sewer. The proposed lot meets the minimum size requirements of the Subdivision Regulations.

The site has been given a Mixed Commercial Corridor (MCC) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation mostly applies to transportation corridors west of I-65 serving primarily the low-density (suburban) residential neighborhoods. MCC includes a wide variety of retail, services and entertainment uses.

This designation acknowledges existing commercial development that is spread along Mobile's transportation corridors in a conventional strip pattern or concentrated into shorter segments of a corridor.

Over time, new development and redevelopment in Mixed Commercial Corridors is encouraged to raise design quality, improve connectivity to surrounding neighborhoods; improved streetscapes; and improve mobility and accessibility for all users of the corridor.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

Please note that a Planned Unit Development approval by the Planning Commission expires after one year if no permits are obtained.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent

developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned B-3, General Business District, thus the existing and proposed developments are allowed by right. The site abuts existing B-3 zoning to the East and West. To the North is an auto sales and repair business outside the City limits, and to the South across Zeigler Boulevard is vacant B-3 zoning.

The following narratives are provided concerning the applications:

Subdivision

THIS SITE IS DEVELOPED ON FIVE INDIVIDUAL PARCELS AND NEEDS TO BE COMBINED INTO ONE SINGLE LOT OF RECORD TO ALLOW FOR PROPOSED CONSTRUCTION TO EXPAND THE OFFICE AREA. THE LOCATION OF THE NEW OFFICE IS SHOWN ON THE PLANNED UNIT DEVELOPMENT APPLICATION SUBMITTED IN CONJUNCTION WITH THIS SUBDIVISION APPLICATION.

Planned Unit Development

THE OWNER IS PROPOSING TO EXPAND THEIR OFFICE AREA WITH AN ADDITION (APPROXIMATELY 2050 SF) THAT WILL CONNECT A STORAGE WAREHOUSE WITH A LARGE BUILDING HOUSING THE EXISTING OFFICES, A WORKING WAREHOUSE, AND A STORAGE WAREHOUSE. THERE IS ONE OTHER FREE-STANDING STORAGE WAREHOUSE LOCATED ON THE PROPERTY. THE FRONT OF THE EXISTING OFFICE IS 24' FROM THE FRONT PROPERTY LINE AND THEY WOULD LIKE THE NEW ADDITION TO BE IN LINE WITH THE EXISTING BUILDING FOR A SMOOTH FAÇADE. WE HAVE SHOWN A 20' MINIMUM BUILDING SETBACK IN THIS AREA TO ACCOMMODATE A SMALL ROOF CANOPY OVERHANGING THE FRONT OF THE BUILDING.

The subject site consists of two legal lots of record and three metes-and-bounds parcels. The two legal lots of record are Lots A and B, John and Lee Warren Subdivision, which was approved by the Commission in 1985 when the site was in the County.

The site has frontage on Zeigler Boulevard, which is a component of the Major Street Plan with a planned 120-foot right-of-way in this area. The preliminary plat indicates that the current right-of-way width along the site is 110.5 feet. Ordinarily, dedication of an additional 4.75 feet to provide 60 feet from the centerline of Zeigler Boulevard would be required. However, in 1985 when the Commission approved John and Lee Warren Subdivision, the Spring Hill Avenue-Zeigler Boulevard major street went through the property itself, curving up to the Northwest. There was no right-of-way dedication required as part of that subdivision approval, nor do the minutes of the May 2, 1985 meeting reflect any discussion of the Major Street Plan. The Major Street Plan was amended in 2011 to remove the segment of the Spring Hill Avenue-Zeigler Boulevard major street through the property and, instead, route it along the existing Zeigler

Boulevard right-of-way to intersect Tanner Williams Road approximately 1.25 miles to the West. The planned right-of-way width of Zeigler Boulevard was amended in this area to 120 feet to reflect Mobile County's request to allow for the provision of sidewalks, bike lanes, etc. as necessary to comply with requirements for the use of Federal funds for such construction projects. ALDOT has designed the widening project from Schillinger Road North to Tanner Williams Road with no additional right-of-way requirement along the subject site frontage. Therefore, staff is of the opinion that, as dedication was not required along the originally-recorded subdivision for a portion of the current site, and no additional right-of-way is planned for the proposed widening, no dedication should be required in connection with the current application.

According to the applicant's website, the site was developed in 1979 as an adhesives manufacturing facility and has expanded several times while in the County. The site was annexed into the City in 2007, and this is the first proposed expansion since annexation. It should be noted that the use of the property as an adhesives manufacturing facility is considered a legal nonconforming use as glue manufacturing requires an I-2, Heavy Industry District, with Planning Approval, as per the Chart of Permitted Uses of the Zoning Ordinance. The proposed expansion is for offices only, and no expansion of manufacturing or warehousing is proposed. The site is also considered legal nonconforming with regard to site compliance as standard vehicle parking is on aggregate surfacing with undesignated parking spaces, landscaping is below that required, there are no tree plantings, and no public sidewalk is provided. As the site is now within the City limits, any proposed expansion must be reviewed according to the Zoning Ordinance. Inasmuch as the site is currently zoned B-3, a review in adherence to B-3 standards would seem unfair due to the "grandfathered" use and site development as an industrial facility. However, certain site compliance aspects should be considered.

The applicant proposes an in-line expansion to the East of an existing office building which is currently setback at approximately 24 feet from the current right-of-way line. To allow for a roof canopy overhang to the front, the applicant requests that a 20-foot setback be allowed along the Eastern portion of the site, with a standard 25-foot setback West of the existing office building. However, staff is of the opinion that the requirement of a 24-foot minimum building setback within this portion of the site would be appropriate in light of the fact that no frontage dedication is being required. Furthermore, as defined, sills, belt courses and eaves, etc. may project up to two (2) feet into the setback. Therefore, the plat and PUD site plan should be revised to illustrate a 24-foot minimum building setback line extending from the West face of the existing office building to the East boundary of the site. The standard 25-foot minimum building setback line should be illustrated from the West face of the existing office building to the West boundary of the site.

As on the preliminary plat, the lot size in both square feet and acres should be retained on the Final Plat, if approved, or a table should be furnished on the Final Plat providing the same information. The PUD site plan only provides the site area in square feet on a landscape table. Therefore, the site plan should be revised to label the site in both square feet and acres, or a table should be furnished on the site plan providing the same information.

As per the Traffic Engineering comments, the site is limited to the driveways as illustrated on the approved PUD, with any changes in size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. A note should be placed on both the Final Plat and site plan stating these comments.

As to site coverage, B-3 zoning allows up to 50% site coverage by all structures, and I-2 zoning allows up to 75%. As the current site area is approximately 149,858 square feet, and the total site coverage, after expansion, would be approximately, 58,600 square feet, the total site coverage would be approximately 39%, and in compliance with both B-3 and I-2 standards. The site plan indicates large areas of aggregate surfacing mainly used for tractor-trailer truck maneuvering and as lay-down areas, and such use is allowed in I-2 Districts. With regard to the shortage of landscaping and tree plantings, as the proposed expansion is less than 50% of the existing total site coverage, landscaping and tree planting compliance will not be required at this time.

Certain site compliance aspects should be addressed. The proposed addition generates the need for seven (7) parking spaces. Parking calculation on the site plan indicate a sufficient number of parking spaces are provided for standard vehicles. However, as these areas are currently aggregate-surfaced, they and the driveways to them should be surfaced in asphalt, concrete, or an approved alternative paving surface. Driveway widths should be a minimum of 24 feet wide. Compliant designated parking stalls should be provided along with curbing or bumper stops. The site plan should be revised to provide compliant driveways and parking areas, if approved.

No City-standard public sidewalk is indicated along Zeigler Boulevard. Therefore, the site plan should be revised to provide a City-standard public sidewalk along Zeigler Boulevard, or a Sidewalk Waiver should be sought.

The site plan indicates a proposed 40-foot wide driveway along the front property line with a rolling gate. A note states that the gate will remain open during business hours. This note should be retained on a revised site plan. Existing double gates are indicated on the West side of the office building approximately 30 feet into the property. A note states that these gates will also remain open during business hours, and this note should be retained on a revised site plan. A dumpster is indicated on the site plan although compliance with Section 64-4.D.9.c. of the Zoning Ordinance is not indicated. If this is a new dumpster location, the site plan should be revised to indicate the dumpster will be in compliance with Section 64-4.D.9.c. of the Zoning Ordinance, if approved.

RECOMMENDATION

Subdivision: This application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to illustrate a 24-foot minimum building setback line extending from the West face of the existing office building to the East boundary of the site;
- 2) retention of the standard 25-foot minimum building setback line from the West face of the existing office building to the West boundary of the site;
- 3) retention of the lot size label in both square feet and acres on the Final Plat, or the furnishing of a table on the Final Plat providing the same information;
- 4) compliance with the Engineering comments: *(FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add additional street names to the vicinity map. C. Add a graphic scale. D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. E. Provide the Surveyor's Certificate. F. Provide the Surveyor's and Owner's (notarized) signatures. G. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 16 - #71) LOT 1 will receive historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control) as follows: LOT 1 – 14,000 sf. H. Add a note that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. I. Add a note that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. J. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. K. Add a note that all existing and proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile. L. Add a note that all easements shall remain in effect until vacated through the proper Vacation process. M. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing. N. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the ORIGINAL (with all signatures except for the Planning Commission, Traffic Engineering, and City Engineer), one (1) copy, and a transmittal letter to the Engineering Permitting Department. They can be dropped off at 205 Government St. or mailed to PO Box 1827, Mobile, AL, 36633.);*
- 5) placement of a note on the Final Plat stating the Traffic Engineering comments: *(Site is limited to the driveways as illustrated on the approved PUD, with any changes in size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*

- 6) compliance with the Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.);*
- 7) compliance with the Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.);* and
- 8) submittal to and approval by Planning and Zoning of two (2) copies of a revised PUD site plan (hard copies and pdf) prior to signing the Final Plat.

Planned Unit Development: Staff recommends the following Findings of Fact for Approval for the Planned Unit Development:

- a. the proposal promotes the objective of Creative design (to encourage innovative and diversified design in site development), because it will allow additional office facilities within a developed site;
- b. the proposal promotes the objective of Flexibility (to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations), because it allows for a small office expansion without the need for a Variance;
- c. the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because a relatively small amount of space in relation to the over-all site will actually be required for the proposed project;
- d. the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), as a large area of the site will remain undisturbed;
- e. the proposal promotes the objective of Open space (to encourage the provision of common open space through efficient site design), because the new structure will be small compared to the over-all site;
- f. the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because it is utilizing a site that is already served with public infrastructure.

Based upon the preceding, this application is recommended for approval subject to the following conditions:

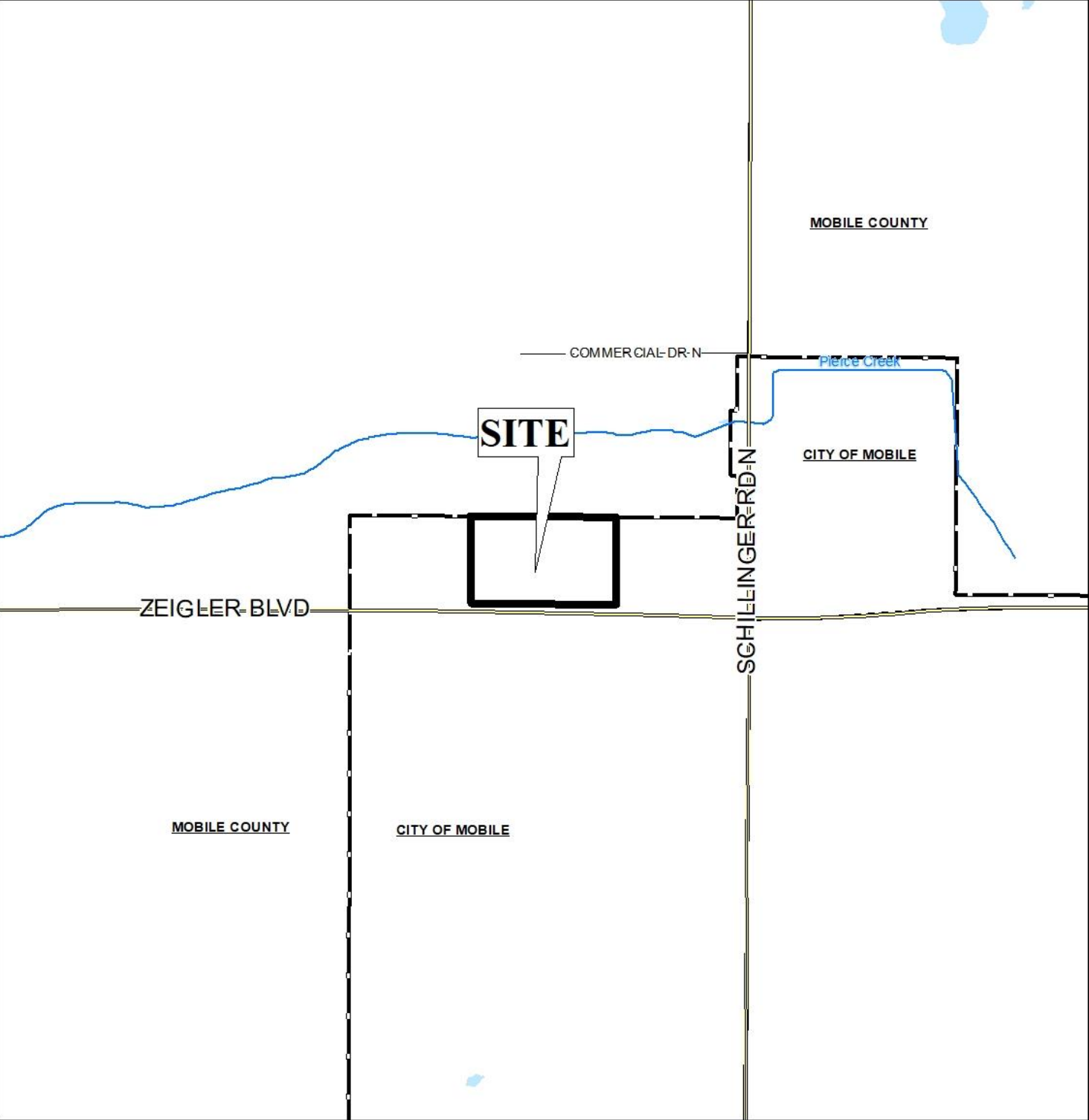
- 1) revision of the site plan to illustrate a 24-foot minimum building setback line extending from the West face of the existing office building to the East boundary of the site;

- 2) retention of the standard 25-foot minimum building setback line from the West face of the existing office building to the West boundary of the site;
- 3) revision of the site plan to label the site in both square feet and acres, or the furnishing of a table on the site plan providing the same information;
- 4) revision of the site plan to provide driveways and parking areas for required on-site standard vehicle parking to be surfaced in asphalt, concrete or an approved alternative paving surface;
- 5) revision of the site plan to provide designated parking stalls for required parking with curbing or bumper stops;
- 6) revision of the site plan to provide a City-standard public sidewalk along Zeigler Boulevard, or the submittal of a Sidewalk Waiver application;
- 7) retention of the note on the site plan stating that the proposed 40-foot rolling gate along the front property line is to remain open during business hours;
- 8) retention of the note on the site plan stating that the double gates on the West side of the existing office building will remain open during business hours;
- 9) revision of the site plan to indicate the dumpster will be in compliance with Section 64-4.D.9.c. of the Zoning Ordinance, if new;
- 10) compliance with the Engineering comments: *(ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. 5. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 6. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*
- 11) placement of a note on the site plan stating the Traffic Engineering comments: *(Site is limited to the driveways as illustrated on the approved PUD, with any changes in size, location, and design to be approved by Traffic Engineering and conform to AASHTO*

standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);

- 12) *compliance with the Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.);*
- 13) *compliance with the Fire Department comments: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.); and*
- 14) *submittal to and approval by Planning and Zoning of two (2) copies of a revised PUD site plan (hard copies and pdf) prior to signing the Final Plat for the subdivision.*

LOCATOR MAP



APPLICATION NUMBER 9 DATE May 20, 2021

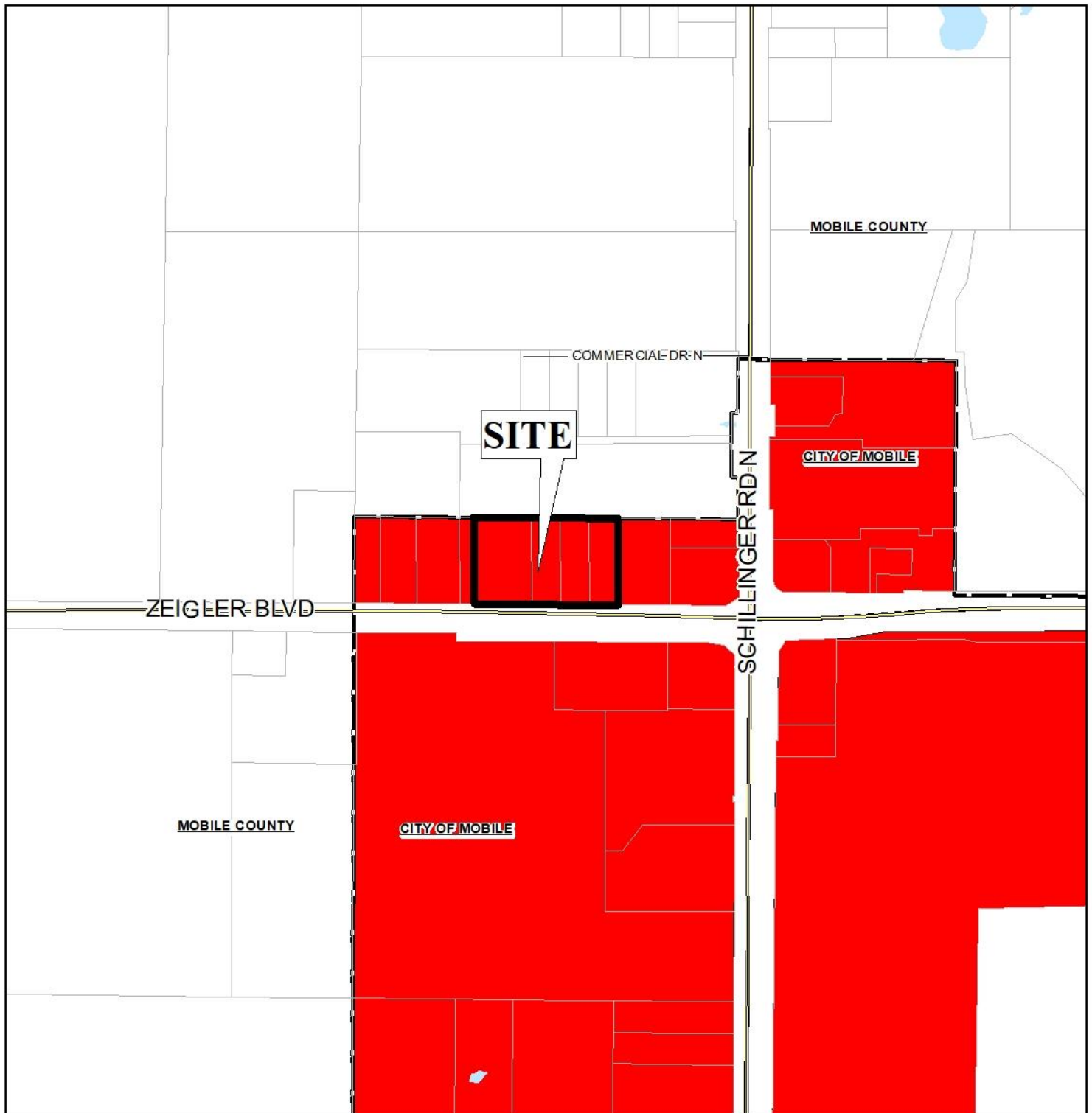
APPLICANT Warren Adhesives Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

LOCATOR ZONING MAP



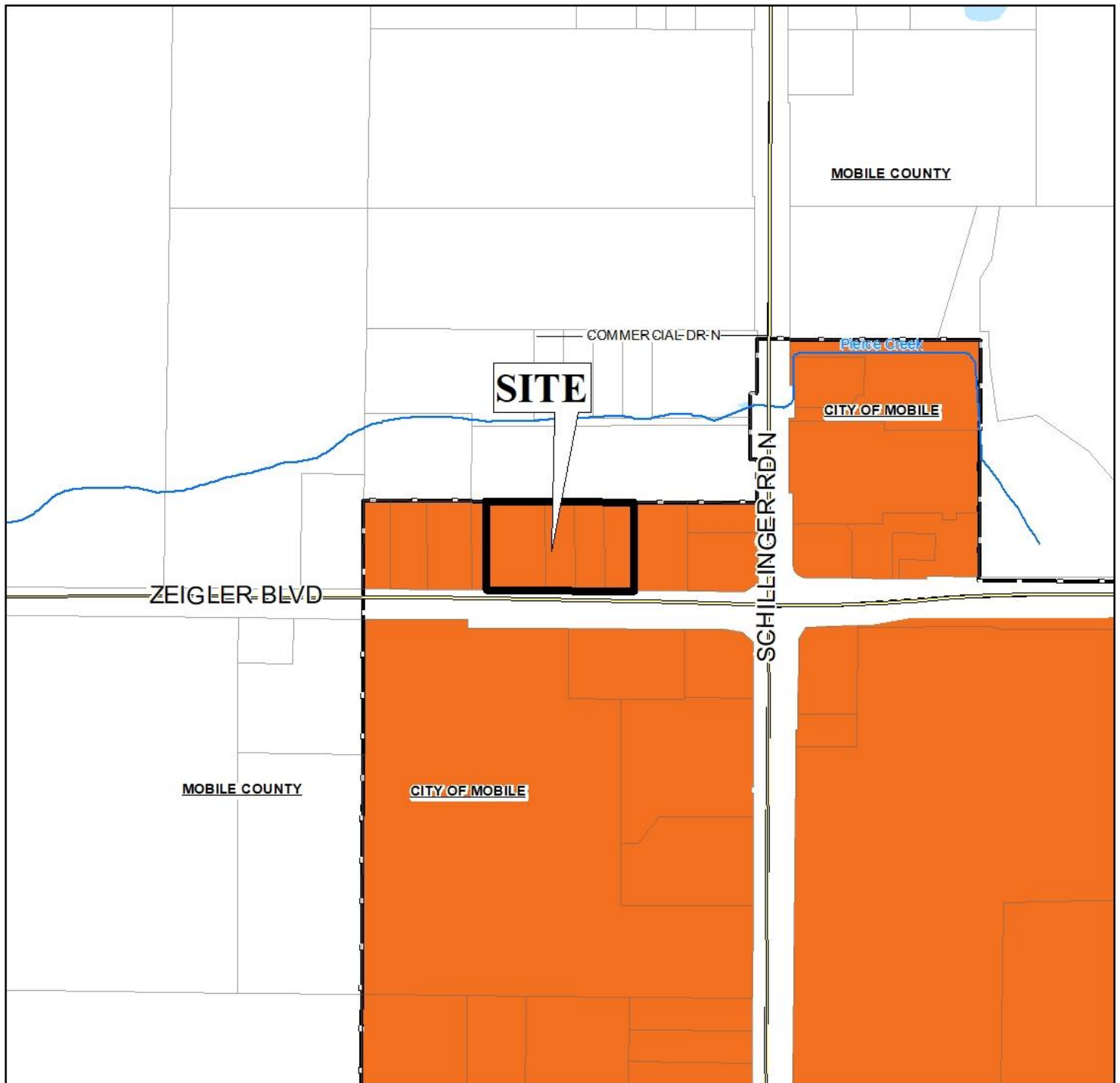
APPLICATION NUMBER 9 DATE May 20, 2021

APPLICANT Warren Adhesives Subdivision

REQUEST Subdivision, Planned Unit Development



FLUM LOCATOR MAP



APPLICATION NUMBER 9 DATE May 20, 2021

APPLICANT Warren Adhesives Subdivision

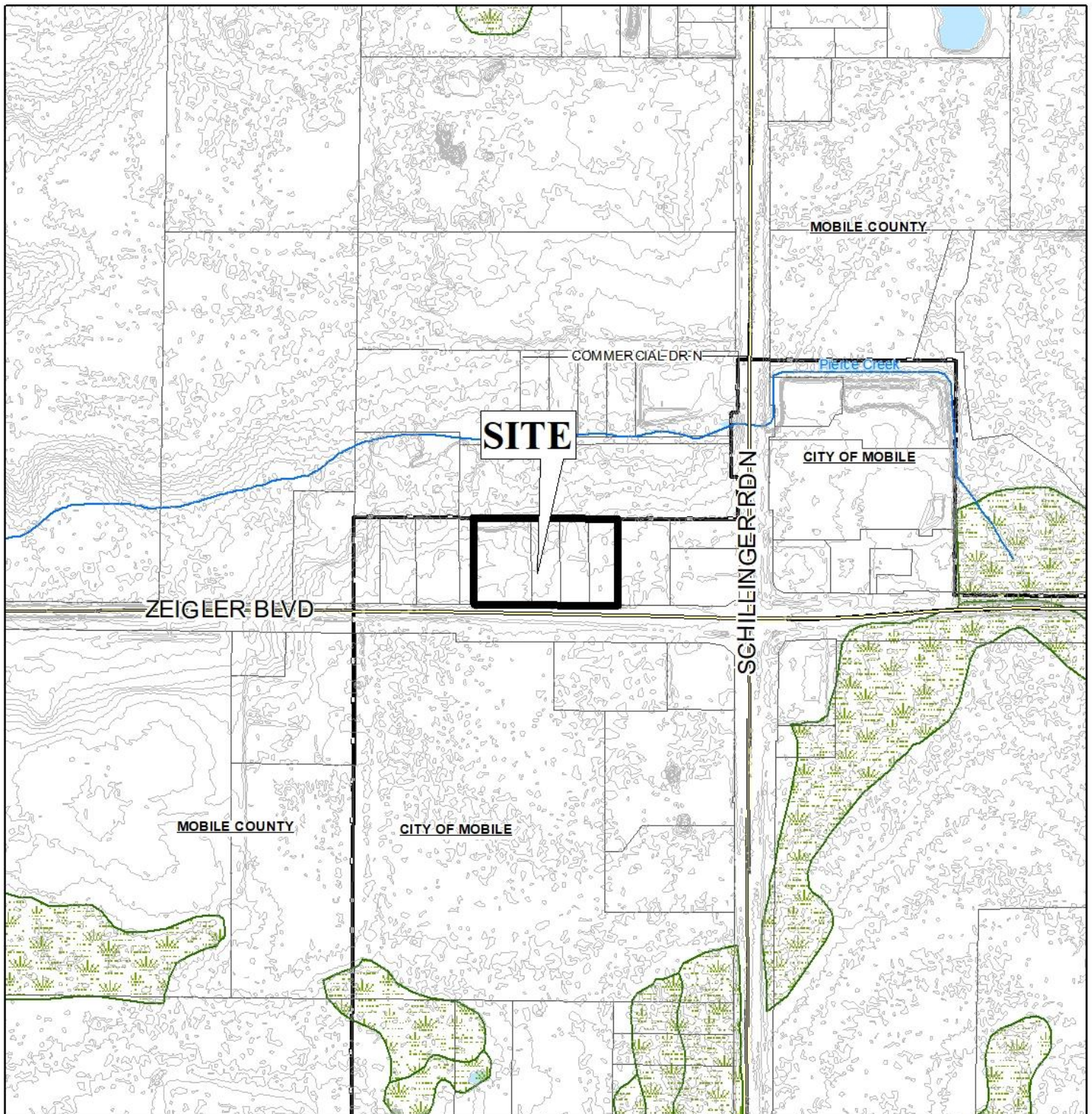
REQUEST Subdivision, Planned Unit Development

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



NTS

ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 9 DATE May 20, 2021

APPLICANT Warren Adhesives Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

APPLICATION NUMBER 9 DATE May 20, 2021

APPLICANT Warren Adhesives Subdivision

REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by commercial units.

APPLICATION NUMBER 9 DATE May 20, 2021

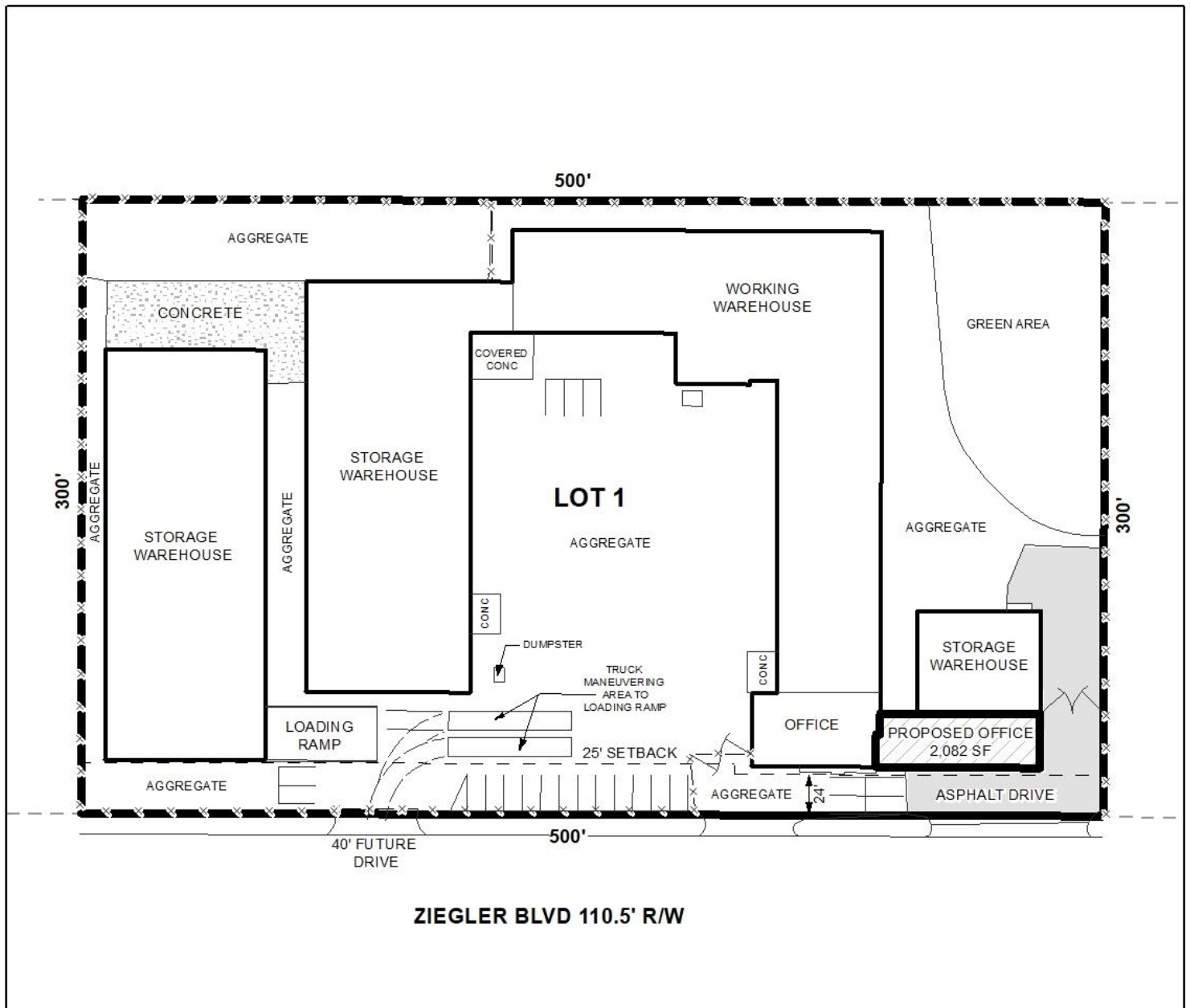
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REQUEST Subdivision, Planned Unit Development



NTS

SITE PLAN



The site plan illustrates the existing buildings, proposed building, parking, setback, and fences.

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REQUEST Subdivision, Planned Unit Development

