



## Agenda Item # 9

SUB-003588-2025 & SUB-SW-003589-2025

View additional details on this proposal and all application materials using the following link:

[Applicant Materials for Consideration – Subdivision](#)

[Applicant Materials for Consideration – Sidewalk Waiver](#)

### DETAILS

**Location:**

4800 Rutgers Road and 4688, 4702, 4726, 4738, 4758, 4770, & 4790 Bowden Road

**Subdivision Name:**

Portside Industrial Park Subdivision, Phase I

**Applicant / Agent:**

Patrick Garstecky, P.E., CMG Engineering, Inc.

**Property Owners:**

Bucknell Industrial Properties, LLC

**Current Zoning:**

I-1, Light Industry District

**Future Land Use:**

Light Industry

**Applicable Codes, Policies, and Plans:**

- Unified Development Code
- Subdivision Regulations
- Map for Mobile Comprehensive Plan

**Proposal:**

- Subdivision approval to create two (2) legal lots of record.
- Waive construction of sidewalks along Rutgers Road and Bowden Road.

**Commission Considerations:**

1. Subdivision proposal with fourteen (14) conditions; and
2. Sidewalk Waiver request.

**Report Contents:**

	<b>Page</b>
Context Map .....	2
Site History .....	3
Staff Comments .....	3
Commission Considerations .....	6
Exhibits .....	8

## PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by industrial units.

APPLICATION NUMBER <u>    9    </u> DATE <u>  January 15, 2026  </u>	 NTS
APPLICANT <u>    Portside Industrial Park Subdivision, Phase I    </u>	
REQUEST <u>    Subdivision, Sidewalk Waiver    </u>	

## SITE HISTORY

---

The subject site was annexed into the City in October 2008, and subsequently assigned an R-1, Single-Family Residential District zoning classification.

In February 2009, the area was rezoned from R-1 to I-1, Light Industry District.

The site has never been before the Board of Zoning Adjustment.

## STAFF COMMENTS

---

### Engineering Comments:

#### Subdivision:

FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide reference, on the map and the description, to a monumented corner.
- C. Provide and label the monument set or found at each subdivision corner.
- D. Add a graphic scale.
- E. Add a vicinity map and include street names.
- F. Clearly label the existing streets, street names, and existing ROW widths.
- G. Clearly show and label the proposed subdivision and the proposed lots.
- H. Provide a written legal description and matching bearing and distance labels for the proposed subdivision.
- I. Revise the plat to label each lot (ONLY ONCE) with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- J. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the intersection of Rutgers Road and Bowden Road, and at the intersection of Bucknell Drive and Bowden Road.
- K. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an A, AE, or X (shaded) flood zone designation. BFE = 16.
- L. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- M. Provide the Surveyor's Certificate.
- N. Provide the Surveyor's and Owner's (notarized) signatures.
- O. As shown on the 1984 aerial photo LOTS 1 and 2 will share the 30,000 sf of historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control) and share the 36,000 SF credit provided to the original SF residential lots as follows: LOT 1 – 33,000 sf and LOT 2 – 33,000 sf. Stormwater detention will be required for any additional impervious area that exceeds the allowable credit for that LOT.
- P. Add a note that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- Q. Add a note that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- R. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.

- S. Add a note that all existing and proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
- T. Add a note that all easements shall remain in effect until vacated through the proper Vacation process.
- U. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at [land.disturbance@cityofmobile.org](mailto:land.disturbance@cityofmobile.org) prior to obtaining any signatures. No signatures are required on the drawing.

**Sidewalk Waiver:**

- 1. It appears that there is sufficient room within the ROW, or within the property behind the ditch in the ROW, for the construction of a sidewalk that could be approved through the ROW Permit process.

**Traffic Engineering Comments:**

The proposed industrial park will require a traffic impact study. Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Article 3, Section 64-3-12 of the City's Unified Development Code.

**Urban Forestry Comments:**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

**Fire Department Comments:**

All projects located within the City Limits of Mobile shall comply with the provisions of the City of Mobile Fire Code Ordinance, which adopts the 2021 edition of the International Fire Code (IFC).

Fire apparatus access roads shall be provided to within 150 feet of all non-sprinklered commercial buildings and within 300 feet of all sprinklered commercial buildings, as measured along an approved route around the exterior of the facility.

An approved fire water supply capable of meeting the requirements set forth in Appendices B and C of the 2021 IFC shall be provided for all commercial buildings.

Fire hydrant placement shall comply with the following minimum standards:

- Within 400 feet of non-sprinklered commercial buildings
- Within 600 feet of sprinklered commercial buildings
- Within 100 feet of fire department connections (FDCs) serving standpipe or sprinkler systems

Although the International Residential Code (IRC) functions as a stand-alone document for the construction of one- and two-family dwellings and townhouses, it does not govern the design or layout of emergency access or community-level fire protection infrastructure. Therefore, residential developments must also comply with the applicable requirements of the International Fire Code, including, but not limited to, those listed above concerning the design, construction, regulation, and maintenance of fire apparatus access roads and fire protection water supplies.

## **Planning Comments:**

### **Subdivision**

The purpose of this application is to create two (2) legal lots of record from eight (8) existing metes-and-bounds parcels. The site is served by public water and sanitary sewer services, and the proposed lots meet the minimum area standards of the Subdivision Regulations.

The site fronts onto Bowden Road to the East, Rutgers Road to the South, and Bucknell Drive/Rangeline Road to the North. Bowden Road and Rutgers Road are both minor streets without curb and gutter, but with compliant 60-foot rights-of-way. Therefore, no frontage dedication would be required along either of those roads. If approved, the right-of-way widths of both streets should be retained on the Final Plat. Bucknell Drive is labeled on the preliminary plat with a 50-foot right-of-way but is within the Rangeline Road Major Street Plan right-of-way with a planned 300-foot right-of-way width. Therefore, the right-of-way width of Rangeline Road should be illustrated on the Final Plat, if approved, and if less than 150 feet to the centerline of Rangeline Road, dedication should be required to provide 150 feet from the centerline of Rangeline Road. The site is bounded along the West side by an Alabama Power Company right-of-way of unlabeled width. If approved, the plat should be revised to label the width of this right-of-way.

As proposed, the site has double-frontage lots. As per Section 6.C.7. of the Subdivision Regulations, double frontage lots are discouraged and access shall be limited to one street for the entire block face. Therefore, a waiver of that Section would be required.

The preliminary plat illustrates the 25-foot minimum building setback line along Bowers Road only. If approved, the plat should be revised to also illustrate the 25-foot minimum building setback line along Rutgers Road and Bucknell Drive/Rangeline Road within the Common Areas fronting those streets.

The preliminary plat provides perimeter dimensions for both proposed lots and the Common Areas, and this should be retained on the Final Plat, if approved. However, the proposed lots and Common Areas are not labeled with their sizes. Therefore, if approved, the plat should be revised to label both lots and Common Areas with their sizes in both square feet and acres, or a table should be furnished on the Final Plat providing the same information.

As the site is proposed to have Common Areas, a note should be required on the Final Plat, if approved, stating that the maintenance of all Common Areas is the responsibility of the property owners.

The preliminary plat indicates various easements within the proposed subdivision. Therefore, if approved, a note should be placed on the Final Plat stating that no structure shall be constructed or placed in any easement without permission of the easement holder. Furthermore, as the site is bordered along the West side by an Alabama Power Company right-of-way, a note should be required on the Final Plat stating that access to this right-of-way is denied.

### **Sidewalk Waiver**

As a commercial subdivision is proposed to be developed, full compliance with the UDC standards is required which includes the provision of sidewalks along all street frontages.

The applicant seeks relief from the requirement to provide sidewalks along Rutgers Road, Bowden Road, and Bucknell Drive. The applicant's narrative is available via the link on the first page of this report. As justification for the waiver the applicant cites an existing ditch and power poles in the right-of-way along each street frontage

that will not allow sufficient space to construct sidewalks. Additionally, there are no adjoining sidewalks to the subject site and no sidewalks within the immediate area to the site. Furthermore, the proximity of the site to the Interstate to the West and Rangeline Road to the North and East make it unlikely that walkability to the site would be needed requiring sidewalks in the foreseeable future, and there does not appear to be a realistic need for sidewalks along the site's street frontages.

While there are no sidewalks within the vicinity of the subject site, most of the developed surrounding neighborhood was developed prior to the 2008 annexation into the City. There have not been any Sidewalk Waivers requested within the surrounding neighborhood. Engineering states that it appears that there is sufficient room within the ROW, or within the property behind the ditch in the ROW, for the construction of a sidewalk that could be approved through the ROW Permit process.

## SUBDIVISION CONSIDERATIONS

---

### Standards of Review:

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

### Considerations:

If the Planning Commission considers approving the Subdivision request, and with a waiver of Section 6.C.7. (for excess street frontage) of the Subdivision Regulations, the following conditions could apply:

1. Retention of the right-of-way widths of Bowden Road and Rutgers Road on the Final Plat;
2. Labeling of the right-of-way width of Rangeline Road on the Final Plat, and if less than 150 feet to the centerline of Rangeline Road, dedication to provide 150 feet from the centerline of Rangeline Road;
3. Revision of the plat to label the width of the Alabama Power Company right-of-way along the West boundary of the site;
4. Retention of the 25-foot minimum building setback line along Bowers Road on the Final Plat;
5. Revision of the plat to also illustrate the 25-foot minimum building setback line along Rutgers Road and Bucknell Drive/Rangeline Road within the Common Areas fronting those streets;
6. Retention of the perimeter dimensions for both proposed lots and the Common Areas on the Final Plat;
7. Revision of the plat to label both lots and Common Areas with their sizes in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
8. Placement of a note on the Final Plat stating that the maintenance of all Common Areas is the responsibility of the property owners;
9. Placement of a note on the Final Plat stating that no structure shall be constructed or placed in any easement without permission of the easement holder;
10. Placement of a note on the Final Plat stating that access to the Alabama Power Company right-of-way along the West boundary is denied;
11. Compliance with all Engineering comments noted in this staff report;
12. Placement of a note on the Final Plat stating all Traffic Engineering comments noted in this staff report;
13. Compliance with all Urban Forestry comments noted in this staff report; and,
14. Compliance with all Fire Department comments noted in this staff report.

## SIDEWALK WAIVER CONSIDERATIONS

---

### **Standards of Review:**

The Mobile City Council adopted a “Complete Streets” policy on May 31, 2011. The purpose of the Complete Streets Policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities.

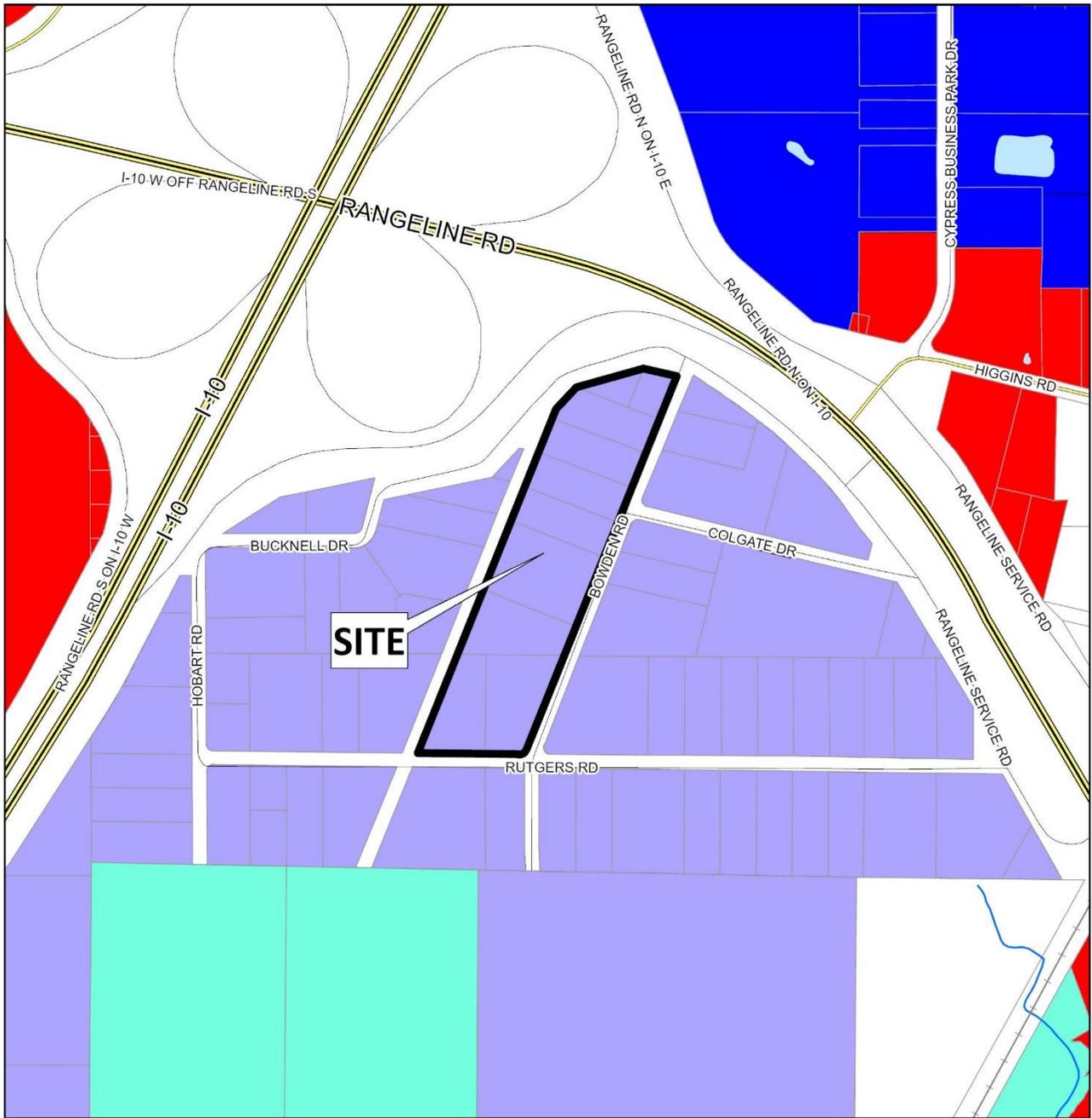
Sidewalks are typically encouraged, even in industrial developments, although the appropriateness of sidewalks should also take into account the existing infrastructure in the area, i.e., does the construction of the existing roadway safely allow for a sidewalk to be utilized.

### **Considerations:**

In rendering a decision, the Planning Commission should evaluate the following factors:

1. The City of Mobile Complete Streets Policy which supports the design and construction of streets for all users, including pedestrians;
2. The existing infrastructure in the area, such as adequate room for construction of a sidewalk, as well as connectivity to existing sidewalks and future sidewalks; and
3. Engineering comments, which indicate that there is sufficient room within the ROW, or within the property behind the ditch in the ROW, for the construction of a sidewalk that could be approved through the ROW Permit process.

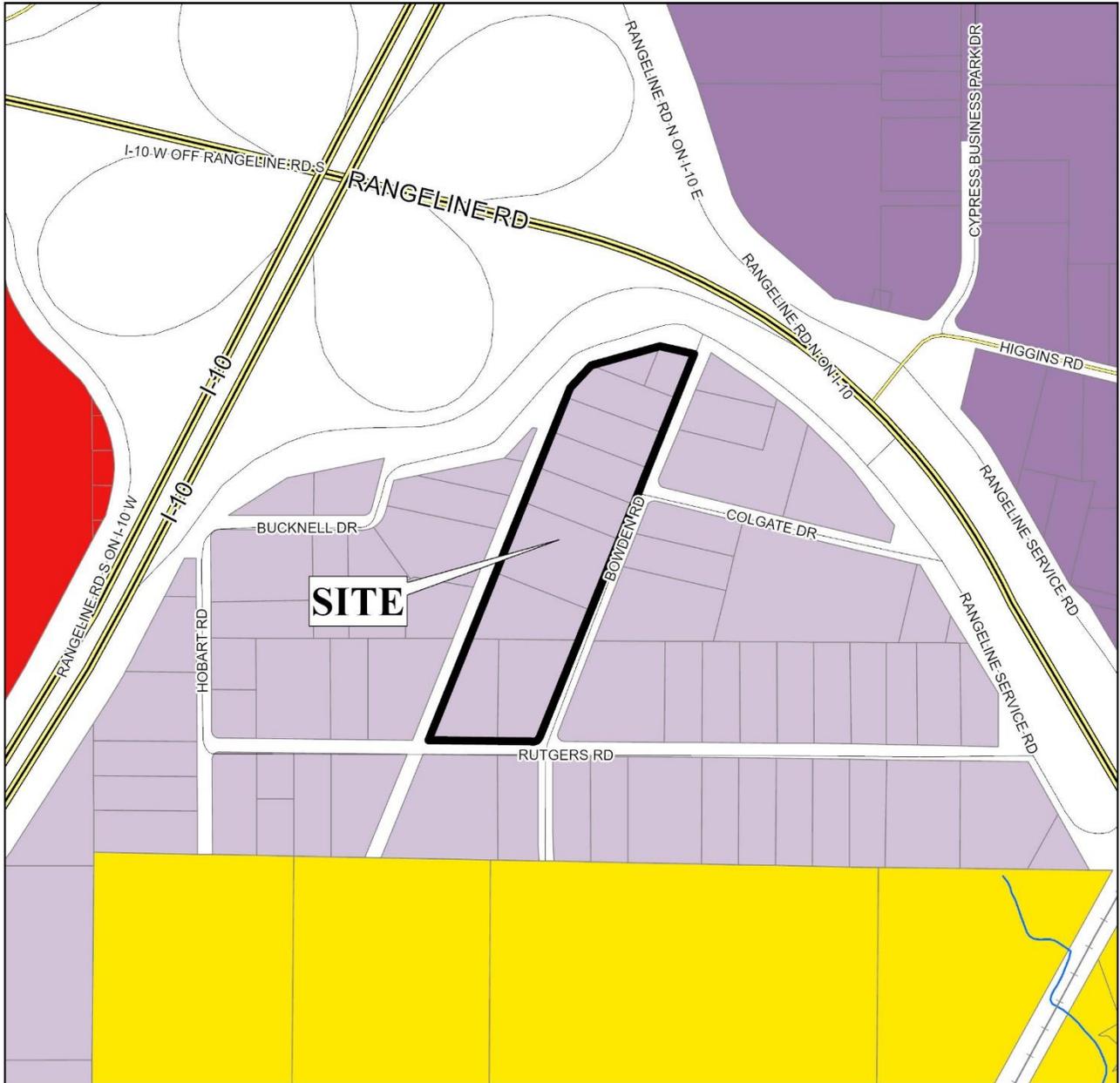
# LOCATOR ZONING MAP



APPLICATION NUMBER _____ 9 _____	DATE _____ January 15, 2026 _____
APPLICANT _____ Portside Industrial Park Subdivision, Phase I _____	
REQUEST _____ Subdivision, Sidewalk Waiver _____	

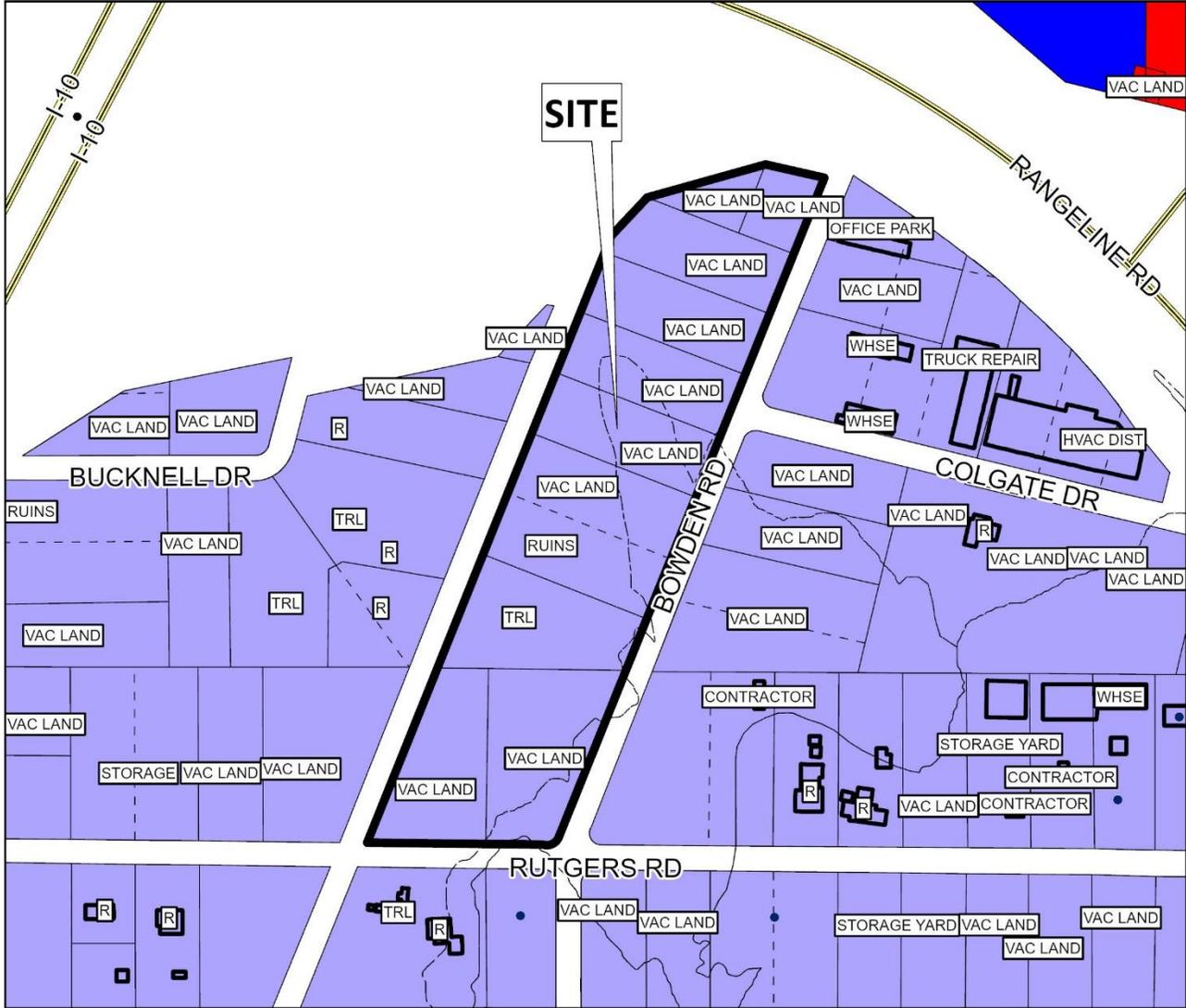


# FLUM LOCATOR MAP



APPLICATION NUMBER <u>9</u> DATE <u>January 15, 2026</u>			
APPLICANT <u>Portside Industrial Park Subdivision, Phase I</u>			
REQUEST <u>Subdivision, Sidewalk Waiver</u>			
<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black;"></span> Low Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black;"></span> Mixed Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: red; border: 1px solid black;"></span> Downtown</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: darkred; border: 1px solid black;"></span> District Center</li> </ul>	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: brown; border: 1px solid black;"></span> Neighborhood Center - Traditional</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: purple; border: 1px solid black;"></span> Neighborhood Center - Suburban</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: pink; border: 1px solid black;"></span> Traditional Corridor</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black;"></span> Mixed Commercial Corridor</li> </ul>	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightgrey; border: 1px solid black;"></span> Light Industry</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: darkgrey; border: 1px solid black;"></span> Heavy Industry</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightblue; border: 1px solid black;"></span> Institutional</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: green; border: 1px solid black;"></span> Parks, Open Space</li> </ul>	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: darkblue; border: 1px solid black;"></span> Water Dependent</li> </ul>

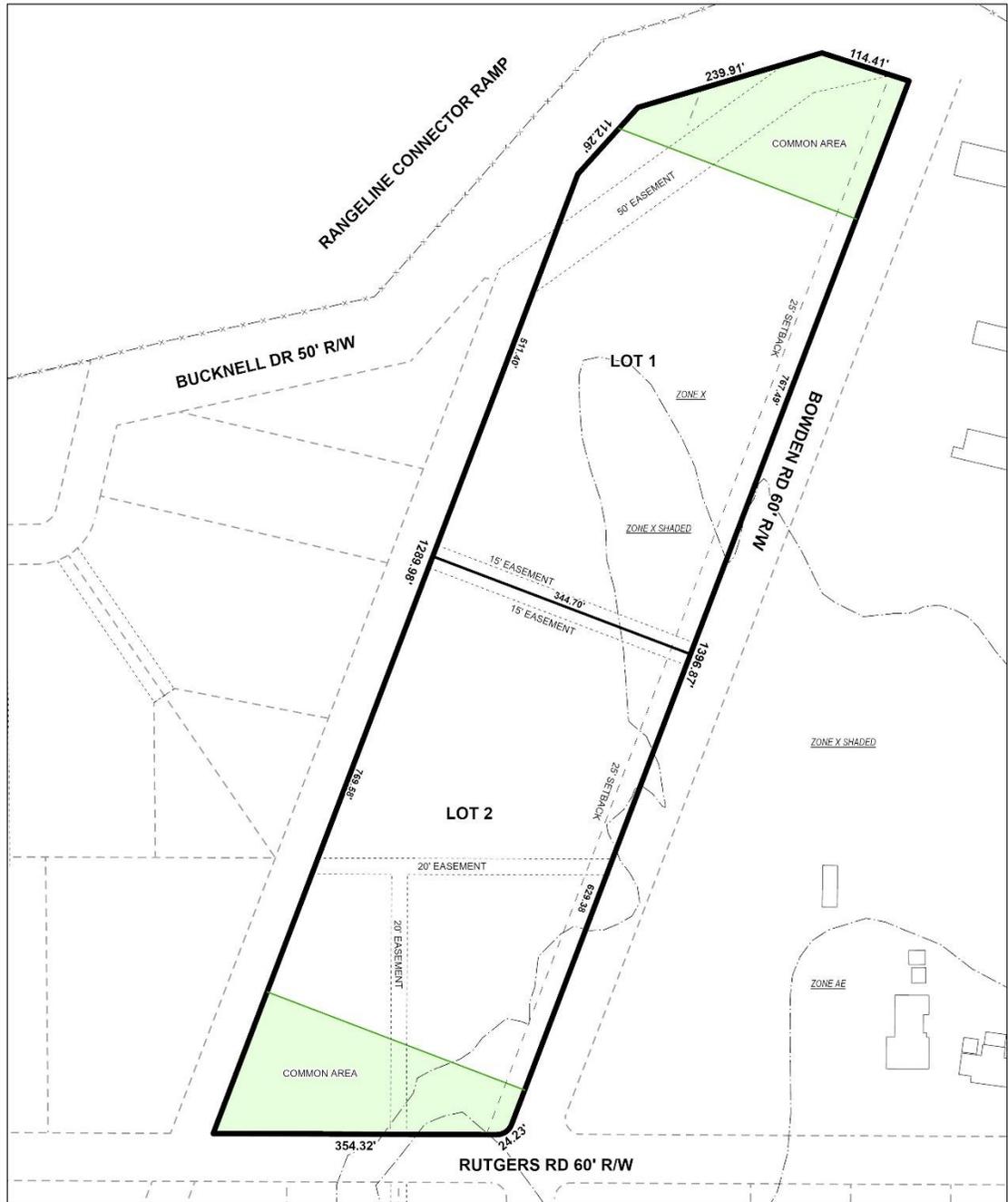
# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial units.

APPLICATION NUMBER <u>9</u> DATE <u>January 15, 2026</u>										 NTS
APPLICANT <u>Portside Industrial Park Subdivision, Phase I</u>										
REQUEST <u>Subdivision, Sidewalk Waiver</u>										
R-A	R-3	B-1	B-2	B-5	ML	I-2	OPEN	T-3	T-5.2	
R-1	R-B	T-B	B-3	CW	MH	PD	SD	T-4	T-6	
R-2	H-B	LB-2	B-4	MM	I-1	MUN	SD-WH	T-5.1		

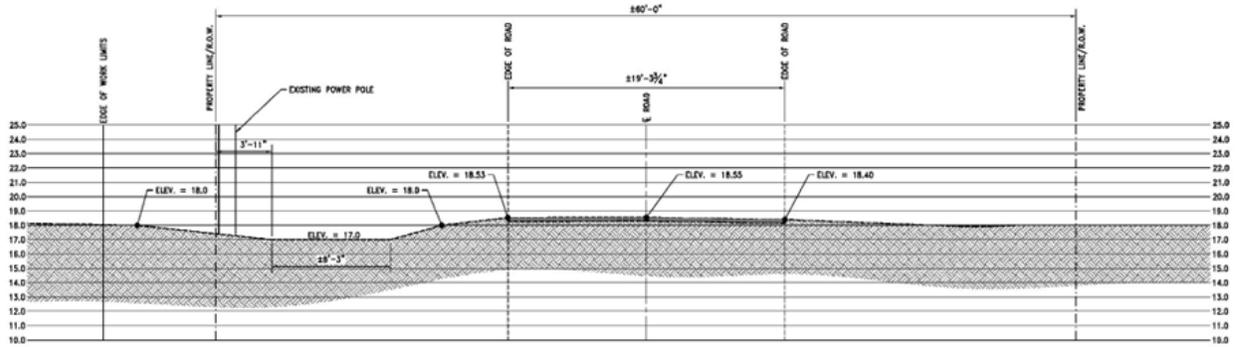
# SITE PLAN



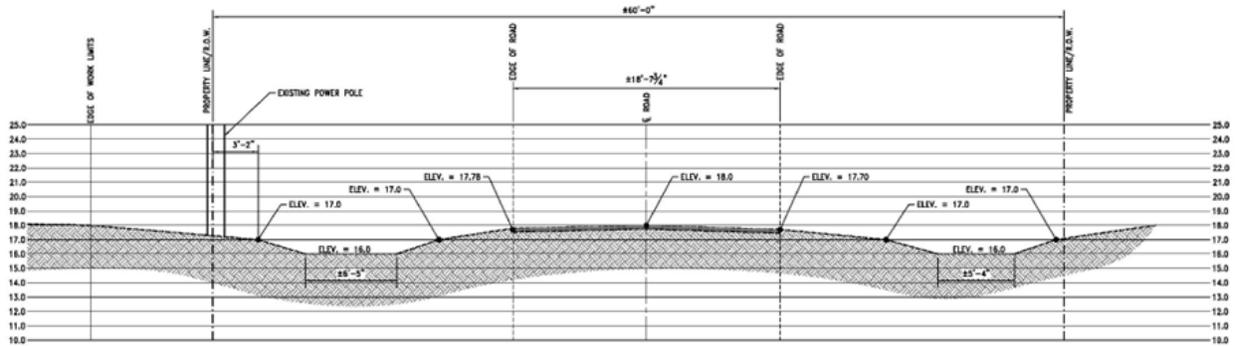
The site plan illustrates flood zones, proposed lots, and common areas.

APPLICATION NUMBER	9	DATE	January 15, 2026	
APPLICANT	Portside Industrial Park Subdivision, Phase I			
REQUEST	Subdivision, Sidewalk Waiver			

# DETAIL SITE PLAN



**SECTION A**



**SECTION B**

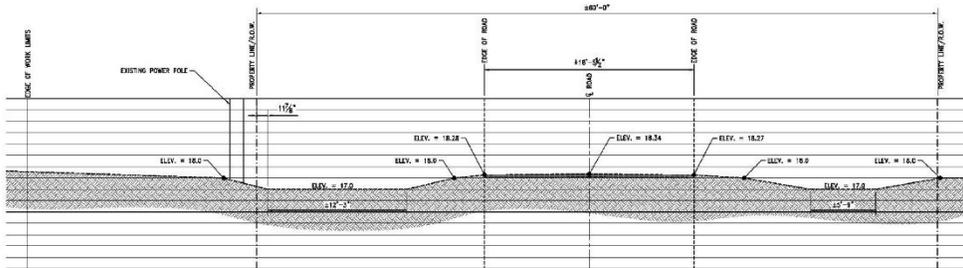
APPLICATION NUMBER 9 DATE January 15, 2026

APPLICANT Portside Industrial Park Subdivision, Phase I

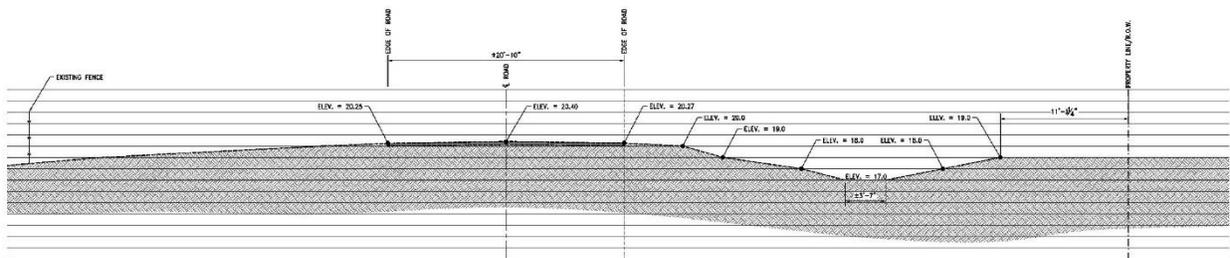
REQUEST Subdivision, Sidewalk Waiver



# DETAIL SITE PLAN



**SECTION C**



**SECTION D**

APPLICATION NUMBER <u>9</u>	DATE <u>January 15, 2026</u>
APPLICANT <u>Portside Industrial Park Subdivision, Phase I</u>	
REQUEST <u>Subdivision, Sidewalk Waiver</u>	





## Industrial Areas

### LIGHT INDUSTRY / BUSINESS CENTER (LI)

This land use designation applies to an array of modern, low-impact industrial uses that include assembly and processing, warehousing, distribution and wholesaling facilities. The bulk of the light industrial use must be contained within a building or facility. This designation may also include uses such as complementary offices and retail, and areas that may be regarded as “industrial business”, including business administration and logistics operations for industrial concerns, building trade contractors facilities and advanced research facilities, as well as stand-alone educational, scientific and industrial research facilities, or any combination of those facilities located in light industrial and technology parks.

#### Development Intent

- › If the use requires outside storage, the storage must be limited in area and appropriately screened from view in accordance to specific zoning requirements.
- › Light industrial uses are characterized by attractive, accessible and connected development, compatible with the character of surrounding neighborhoods.
- › Development may take the form of planned campuses in park-like settings or unified design corridor with consideration to factors such as site and building orientation, building design, landscaping and buffering, lighting, continuity of pedestrian networks, access and connectivity to transit and to freight transportation.
- › Heavy commercial and, in some cases, high-density residential land uses may serve as transitions between LI and other, lower-intensity land use designations.
- › Protection buffers may also be required.
- › Higher quality building design should be encouraged at highly visible sites.

#### Land use mix

##### Primary Uses

- › Light Industrial / Clean Manufacturing
- › Warehousing / Logistics
- › Office

##### Secondary Uses

- › Commercial
- › Civic
- › Parks

#### Housing mix

- › A range of housing may be considered but it is not intended for these areas.

#### Character Example

