

**SUBDIVISION,  
PLANNED UNIT DEVELOPMENT, &  
PLANNING APPROVAL STAFF REPORT****Date: December 19, 2019**

<b><u>NAME</u></b>	Midtown Mobile Subdivision
<b><u>SUBDIVISION NAME</u></b>	Midtown Mobile Subdivision
<b><u>LOCATION</u></b>	1810, 1812, & 1814 Old Shell Road and 117 Mobile Infirmary Boulevard (North side of Old Shell Road, 200'± West of Mobile Infirmary Boulevard, extending to the West side of Mobile Infirmary Boulevard, 395'± North of Old Shell Road).
<b><u>CITY COUNCIL DISTRICT</u></b>	District 1
<b><u>PRESENT ZONING</u></b>	B-2, Neighborhood Business District
<b><u>AREA OF PROPERTY</u></b>	3 Lots / 3.1± Acres
<b><u>PRESENT ZONING</u></b>	Subdivision approval to create three (3) legal lots of record from one (1) metes-and-bounds parcels; Planned Unit Development Approval to allow shared access between two building sites; and, Planning Approval to amend a previously approved Planning Approval to allow the use of an existing 100' monopole cell tower (on proposed Lot 3) in a B-2, Neighborhood Business District.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Immediately
<b><u>ENGINEERING COMMENTS</u></b>	

**Subdivision:** FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide and label the monument set or found at each subdivision corner.
- C. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- D. Show and label each and every Right-Of-Way and easement.



- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. The proposed subdivision receives drainage from a public street and will require a PUBLIC (Dedicated to the City of Mobile) drainage easement; the width and alignment of the easement shall be coordinated with, and approved by, the City Engineer prior to submitting the Plat for signatures. Additional width may be required to allow vehicular and equipment access.
- G. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 28 - #73) LOTS 1, 2, and 3 will have to share the historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- H. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- I. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- J. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- K. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
- L. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process.
- M. Provide a copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Engineering Dept. for review. No signatures are required on the drawing. Place the information for the Subdivision Plat on the PLAT Review sign-in sheet.
- N. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the red-line markup, the ORIGINAL (with all other signatures) and one (1) copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department. Place the information for the Subdivision Plat on the PLAT Review sign-in sheet.

**Planned Unit Development:**

1. Due to the proposed subdivision, the existing City Addresses may need to be assigned a different 911 address. Please contact the Engineering Department (Anthony Morris 208-6216, or Steve Smith 208-7135) to discuss the options.
2. According to the FEMA flood map information, this property is located within a Special Flood Hazard Area. You will need to show and label the flood hazard area(s). Also, you will need to list the Minimum Finished Floor Elevation (MFFE) for each lot 1-3.
3. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:
  - a. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will



require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).

- b. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- c. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- d. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.
- e. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
- f. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

## **TRAFFIC ENGINEERING**

### **COMMENTS**

Lots 1 and 2 are limited to one shared curb cut to Old Shell Road and Lot 3 is limited to one curb cut to Mobile Infirmary Boulevard. Driveway size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).



**REMARKS**

The applicant is requesting Subdivision approval to create three (3) legal lots of record from one (1) metes-and-bounds parcels; Planned Unit Development Approval to allow shared access between two building sites; and, Planning Approval to amend a previously approved Planning Approval to allow the use of an existing 100' monopole cell tower (on proposed Lot 3) in a B-2, Neighborhood Business District.

The site has been given a Traditional Mixed Use Corridor (MxDR) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation generally applies to transportation corridors east of I-65, which serve as the primary commercial and mixed-use gateway to Downtown and the City's traditional neighborhoods (equivalent to Map for Mobile's Traditional Neighborhoods).

Depending on their location (and as allowed by specific zoning), TC designations incorporate a range of moderately scaled single-use commercial buildings holding retail or services; buildings that combine housing units with retail and/or office; a mix of housing types including low- or mid-rise multifamily structures ranging in density from 4 to 10 du/ac; and attractive streetscapes and roadway designs that safely accommodate all types of transportation – transit, bicycling, walking, and driving. In these areas, special emphasis is placed on the retention of existing historic structures, compatible infill development, and appropriate access management.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

The site had 1-lot Subdivision, Planning Approval, Planned Unit Development, and Rezoning applications at the Planning Commission's January 20, 2011 meeting. The site then came back to the Planning Commission at its September 15, 2011 meeting with a 3-lot Subdivision, Planned Unit Development, and Rezoning. The Rezoning was completed, and the Planning Approval is still valid, but the Subdivisions and Planned Unit Developments were both allowed to expire. The Rezoning was approved with the following conditions:

- 1) *Compliance with Urban Forestry comments: "Preservation status is to be given to the 50" Live Oak located on the West side of Lot 2. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger. Coordinate with Urban Forestry location and design of the proposed driveway to Old Shell Road in order to minimize the impact to the root systems of existing Live Oak Trees. Coordinate with Urban Forestry location and design of the access, maneuvering, and parking along Spring Hill Avenue right of way that is not shown on the site plan";*



- 2) *Limited to an approved Planned Unit Development (PUD);*
- 3) *Completion of the subdivision process prior to the issuance of permits; and,*
- 4) *Full compliance with all municipal codes and ordinances.*

It should be noted that the 50" Live Oak tree referenced in the first condition, is on a piece of property to the North of the subject site that was included in the 2011 applications, but is not included with the applications at hand.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The proposed lot sizes are provided in square feet and acres, and exceed the minimum standards. As such, if approved, this information should be retained on the Final Plat.

It should be noted that the proposed Lot 2 is a flag lot, with a 39'± wide, 348'± deep pole providing street frontage. Section V.D.1. of the Subdivision Regulations only allows flag-lots where they are common in the area, in the case of a Family Subdivision, or if pre-existing barriers make it necessary; none of which is applicable in this instance. If the Planning Commission chooses to waive Section V.D.1. of the Subdivision Regulations, it should be with the condition that Lot 2 not be further re-subdivided without the provision of additional street frontage.

The site has frontage on Old Shell Road to the South and Mobile Infirmary Boulevard to the East. Old Shell Road and Mobile Infirmary Boulevard are minor streets, provided with curb and gutter, and both are depicted with existing, adequate, rights-of-way of 50 feet and 58 feet, respectively. As such, no further dedications should be required.

The preliminary plat does not depict the 25' minimum front setback required along all frontages. If approved, the Final Plat should be revised to illustrate the required setback on all lots, where they are a minimum of 60 feet in width.

Regarding access management, per Traffic Engineering comments, Lots 1 and 2 should be limited to one shared curb cut to Old Shell Road and Lot 3 is limited to one curb cut to Mobile Infirmary Boulevard

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of



the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It is very important to note that the Planning Approval and PUD review are site plan specific; therefore *any* future changes to the overall site plan must be submitted for PUD review. Additionally, if the site plan is changed from what is approved by the Planning Commission, a new application for Planning Approval will be required. Furthermore, PUD approvals expire after one year if no permits are obtained.

The applicant states the following:

*The applicant wishes to develop the property to be a three story mixed use commercial development containing retail, restaurant, office and residential space. The proposed Site Plan includes a 8,650 square foot building footprint with three (3) floors for a total of 25,950 square feet. The bottom floor will consist of 3,800 square feet of restaurant space and 4,450 square feet of retail space. There will also be a 400 square foot restaurant patio on the first floor. The second and Third floors will consist of residential space. Sufficient Parking will be provided along the Northern, Western and Southern part of the property.*

*The scheduled time for construction to begin is immediately following the approval of all appropriate permits..*

The applicant is only proposing to develop the proposed Lot 1, with the exception of a shared driveway on the proposed Lot 2 to access Old Shell Road. There is an existing cell phone tower on the proposed Lot 3, which received Planning Approval in 2011. No changes are proposed to the existing cell tower, but due to the site plan specific nature of Planning Approvals, and the fact that the property lines are being altered, a new Planning Approval application is required.

The site abuts R-1, Single-Family Residential zoning to the West. As such, a compliant residential buffer will be required at the time of development.

The site plan illustrates dumpsters, with apparent enclosures. If approved, the dumpsters will be required to have both compliant enclosures and sanitary sewer connections.

A sidewalk is depicted along Old Shell Road, and will be required at the time of development.

The development is proposed to have 4,450 square feet of office/retail space, 4,200 square feet of restaurant space, and 24 residential units, thus the site requires 93 parking spaces, and the site plan depicts a compliant number of parking spaces. It should be noted that a photometric plan will be required at the time of permitting.



There appear to be several items on the site plan for the proposed development on Lot 1 that will require approvals by the Board of Zoning Adjustment, including:

- 1) A small portion of the building encroaches into the 25' minimum setback;
- 2) The development will not have compliant front landscape area;
- 3) The development will not have sufficient room for frontage tree plantings;
- 4) Access and maneuvering for 15 parking spaces is completely within the right-of-way.

The applicant will also be required to successfully obtain a non-utility right-of-way use agreement from the City of Mobile to allow any maneuvering in the right-of-way.

The proposed development does seem to be in keeping with the character of the area, in that several existing structures encroach into the front 25' setback, and parking with access/maneuvering in the right-of-way currently exists. Therefore, approval of these applications may be appropriate.

## **RECOMMENDATION**

**Subdivision:** Based upon the preceding, with a waiver of Section V.D.1. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following:

- 1) retention of the lot sizes in square feet and acres;
- 2) depiction of the 25' minimum building setback line along all street frontages, where lots are a minimum of 60' wide;
- 3) placement of a note on the Final Plat stating that there shall be no further re-subdivision of Lot 2 unless additional street frontage is provided;
- 4) compliance with Engineering comments: (*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide and label the monument set or found at each subdivision corner. C. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. D. Show and label each and every Right-Of-Way and easement. E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. F. The proposed subdivision receives drainage from a public street and will require a PUBLIC (Dedicated to the City of Mobile) drainage easement; the width and alignment of the easement shall be coordinated with, and approved by, the City Engineer prior to submitting the Plat for signatures. Additional width may be required to allow vehicular and equipment access. G. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 28 - #73) LOTS 1, 2, and 3 will have to share the historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. H. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in*



*accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. I. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. J. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. K. Add a note to the plat stating that all proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile. L. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process. M. Provide a copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Engineering Dept. for review. No signatures are required on the drawing. Place the information for the Subdivision Plat on the PLAT Review sign-in sheet. N. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the red-line markup, the ORIGINAL (with all other signatures) and one (1) copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department. Place the information for the Subdivision Plat on the PLAT Review sign-in sheet.);*

- 5) placement of a note on the plat stating the following Traffic Engineering comments: *(Lots 1 and 2 are limited to one shared curb cut to Old Shell Road and Lot 3 is limited to one curb cut to Mobile Infirmary Boulevard. Driveway size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 6) compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.);*
- 7) compliance with Fire comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)); and,*
- 8) provision of two revised PUD site plans to the Planning & Zoning office prior to the signing of the Final Plat.

**Planned Unit Development:** Staff recommends the following Findings of Fact for Approval of the Planned Unit Development:

- a. the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because it allows for reduced curb cuts along Old Shell Road;
- b. the proposal promotes the objective of Flexibility (to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations), by allowing separate lots to have shared access;



- c. the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because the site is within a developed area;
- d. the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because the project does not eliminate any existing urban amenities or natural features, and the existing urban fabric is retained;
- e. the proposal promotes the objective of Open space (to encourage the provision of common open space through efficient site design), because the project is within an existing developed area; and
- f. the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because no new public infrastructure must be constructed to meet the applicant's needs.

Based upon the preceding, the application is recommended for Approval, subject to the following:

- 1) retention of the lot sizes in square feet and acres;
- 2) depiction of the 25' minimum building setback line along all street frontages, where lots are a minimum of 60' wide;
- 3) revision of the site plan to include a note stating that the dumpster will be connected to sanitary sewer with a compliant enclosure;
- 4) revision of the site plan to depict a compliant residential buffer where Lot 1 abuts residential property;
- 5) either obtain Variances to allow the structure to encroach into the front setback, reduced front landscaping area, reduced frontage trees, and parking with access/maneuvering in the right-of-way, or revision of the site plan to reflect compliance with all of these items;
- 6) either obtain a non-utility right-of-way use agreement, or reconfigure the parking so that all access/maneuvering is on-site;
- 7) placement of a note on the site plan stating that any future changes to the site plan will require a new Planned Unit Development;
- 8) compliance with Engineering comments: *(1. Due to the proposed subdivision, the existing City Addresses may need to be assigned a different 911 address. Please contact the Engineering Department (Anthony Morris 208-6216, or Steve Smith 208-7135) to discuss the options. 2. According to the FEMA flood map information, this property is located within a Special Flood Hazard Area. You will need to show and label the flood hazard area(s). Also, you will need to list the Minimum Finished Floor Elevation (MFFE) for each lot 1-3. 3. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: A. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). B. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to*



*beginning any of the construction work. C. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. E. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. F. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*

- 9) placement of a note on the plat stating the following Traffic Engineering comments: *(Lots 1 and 2 are limited to one shared curb cut to Old Shell Road and Lot 3 is limited to one curb cut to Mobile Infirmary Boulevard. Driveway size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 10) compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.);* and
- 11) compliance with Fire comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)).*
- 12) provision of two revised PUD site plans to the Planning & Zoning office prior to the signing of the Final Plat.

**Planning Approval:** Staff recommends the following Findings of Fact for Approval:

- a. the proposal will be appropriate with regard to transportation and access, water supply, waste disposal, fire and police protection, and other public facilities, because adequate facilities and services exist in this area;
- b. the proposal will be in harmony with the orderly and appropriate development of the district in which the use is located, because it there are both commercial and residential uses in the area.

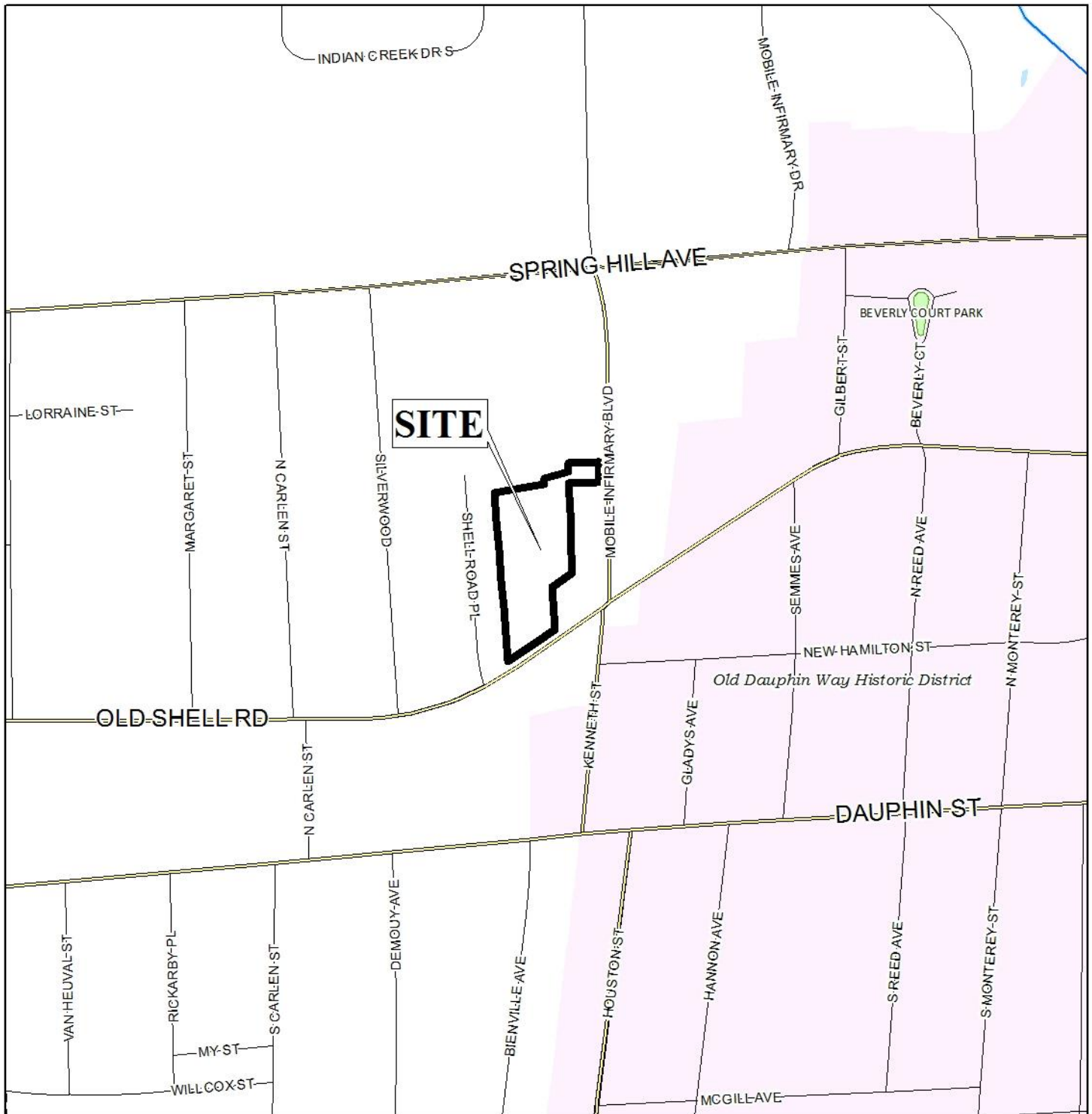
Recommended for Approval, subject to the following conditions:



- 1) placement of a note on the plat stating the following Traffic Engineering comments: (*Lots 1 and 2 are limited to one shared curb cut to Old Shell Road and Lot 3 is limited to one curb cut to Mobile Infirmary Boulevard. Driveway size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 2) compliance with Urban Forestry comments: (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.*.);
- 3) compliance with Fire comments: (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)*); and,
- 4) full compliance with all municipal codes and ordinances.



# LOCATOR MAP



APPLICATION NUMBER 9 DATE December 19, 2019

APPLICANT Midtown Mobile Subdivision

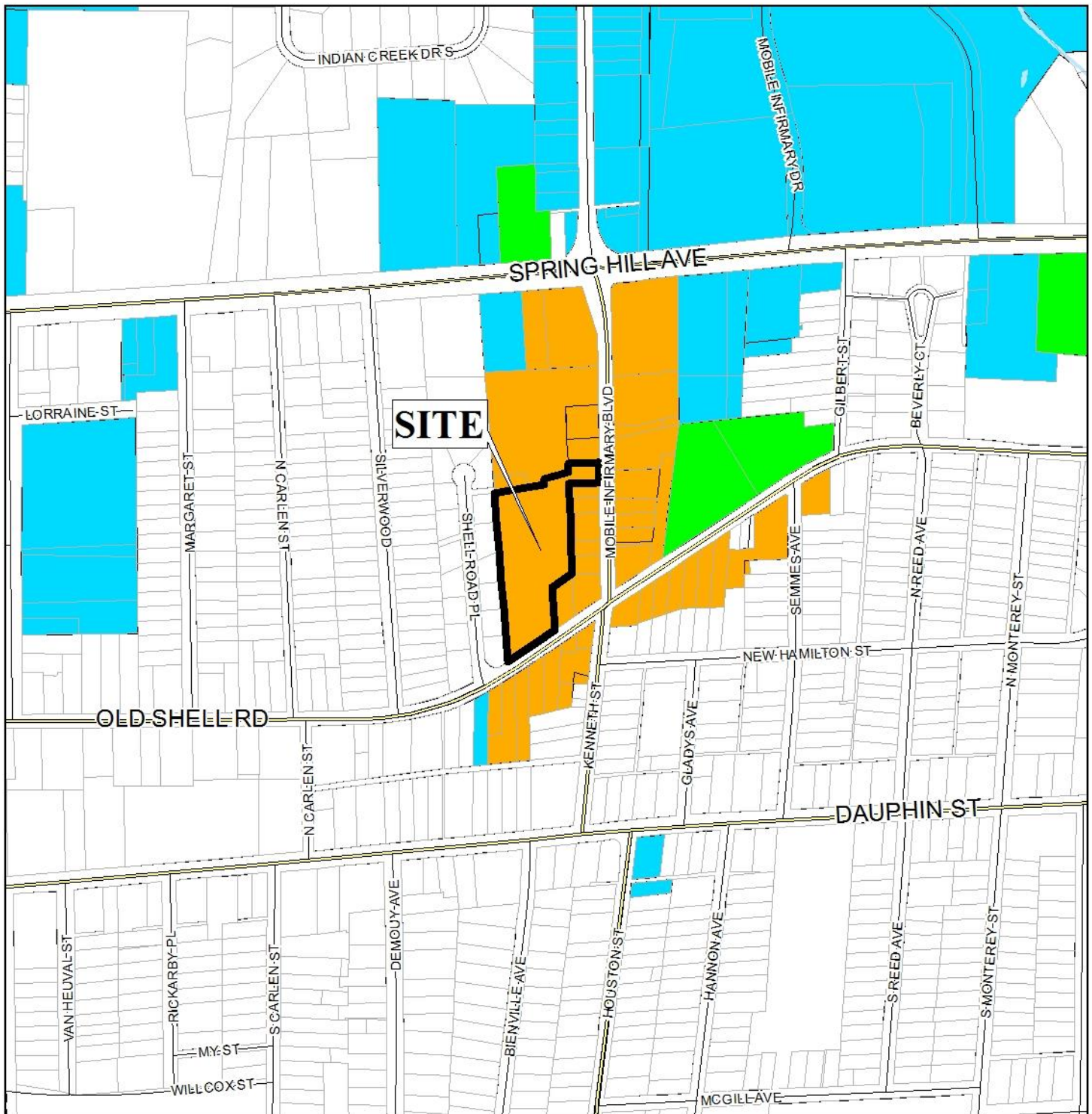
REQUEST Subdivision, PUD, Planning Approval



NTS



# LOCATOR ZONING MAP



APPLICATION NUMBER 9 DATE December 19, 2019

APPLICANT Midtown Mobile Subdivision

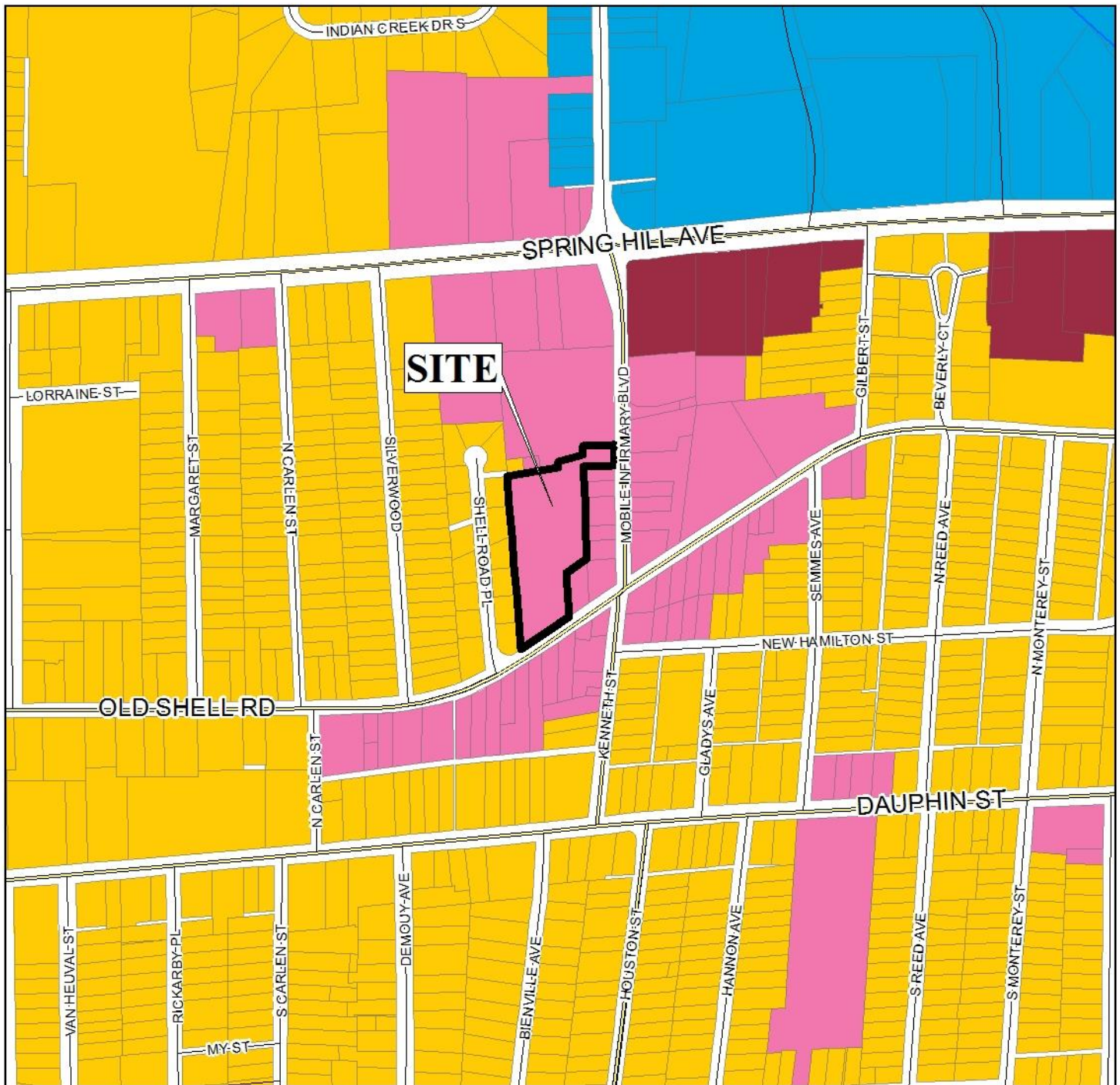
REQUEST Subdivision, PUD, Planning Approval



NTS



# FLUM LOCATOR MAP



APPLICATION NUMBER 9 DATE December 19, 2019

APPLICANT Midtown Mobile Subdivision

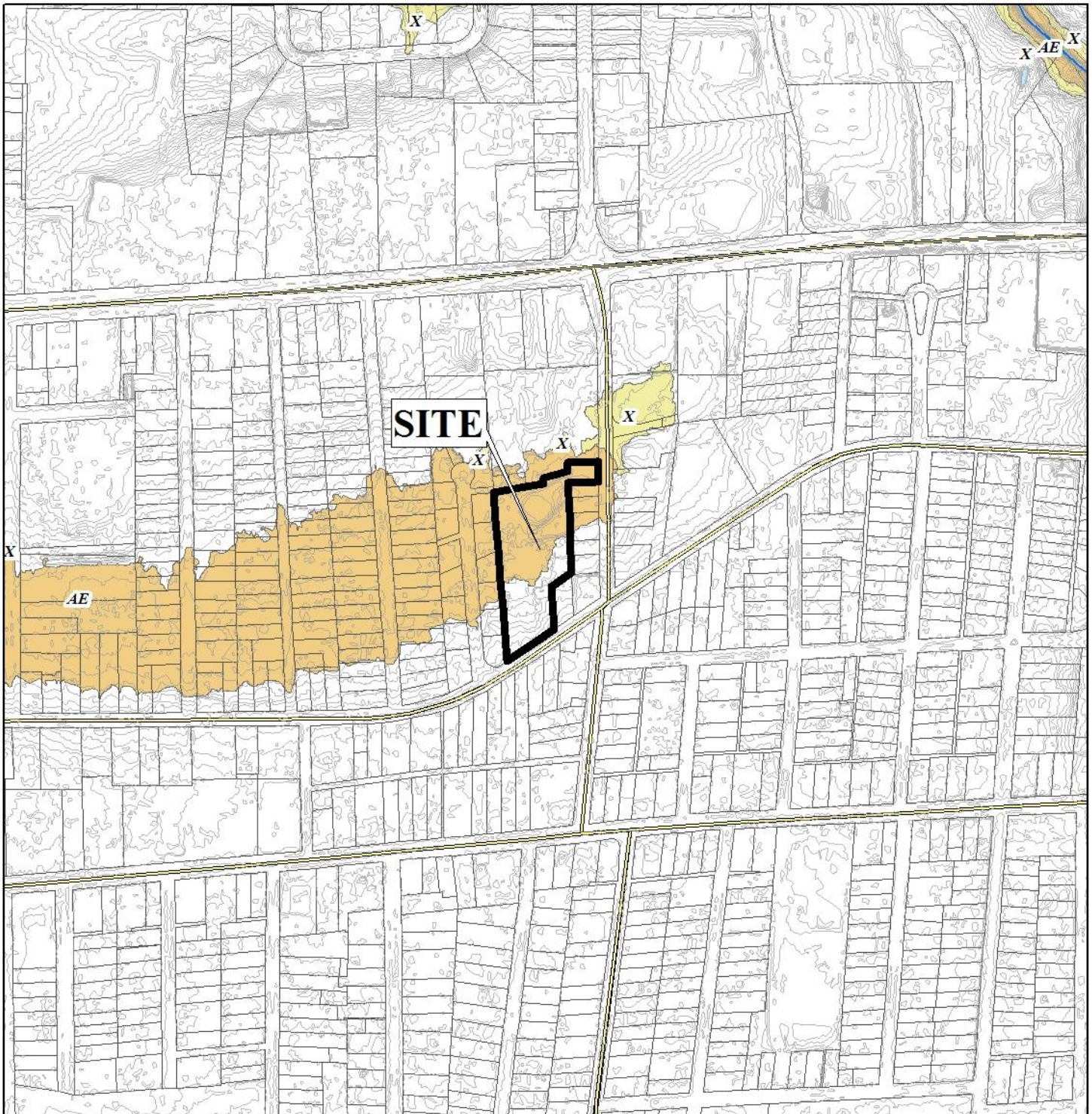
REQUEST Subdivision, PUD, Planning Approval

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	





# ENVIRONMENTAL LOCATOR MAP

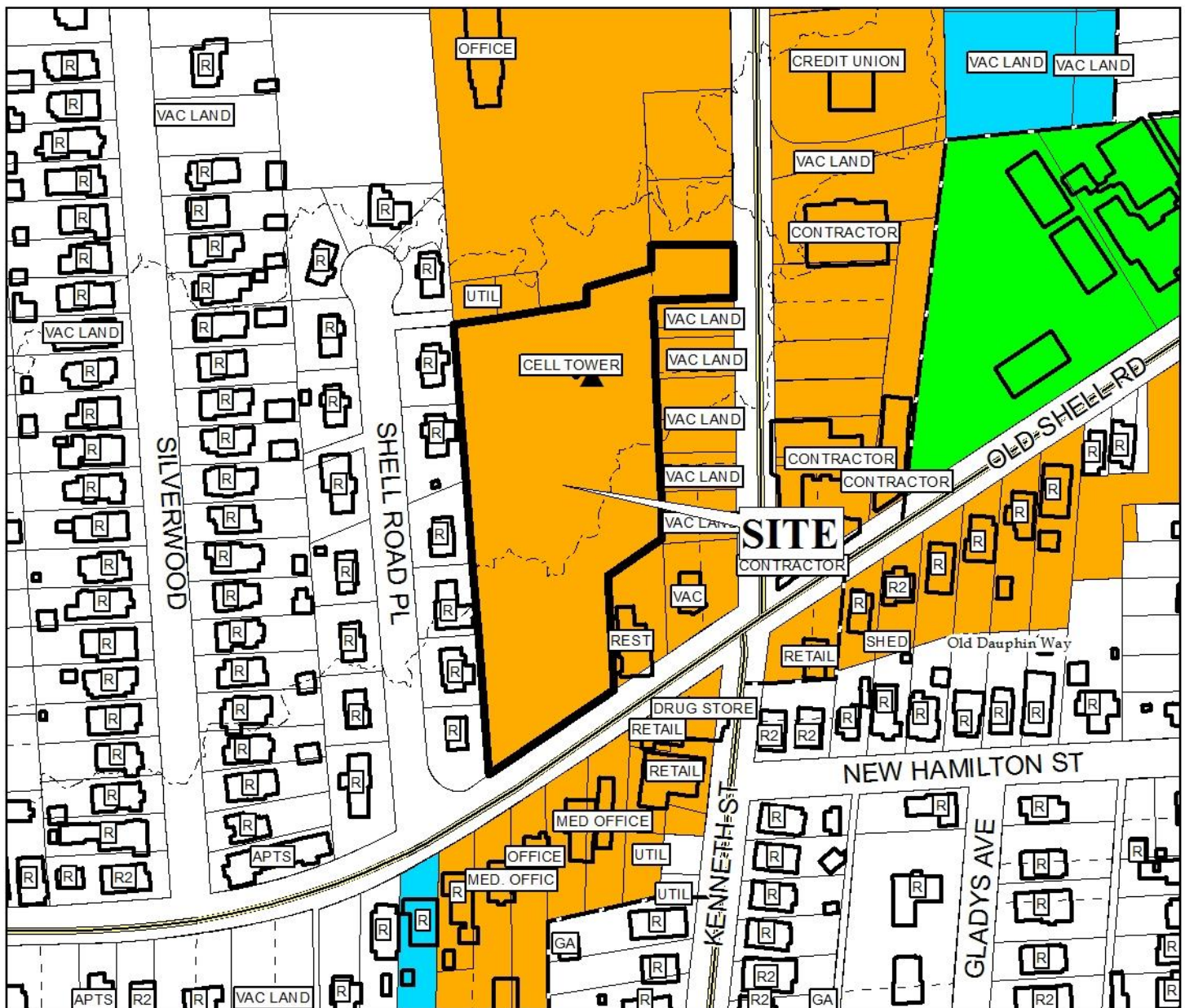


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REQUEST Subdivision, PUD, Planning Approval





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential and commercial units.

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REQUEST Subdivision, PUD, Planning Approval

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



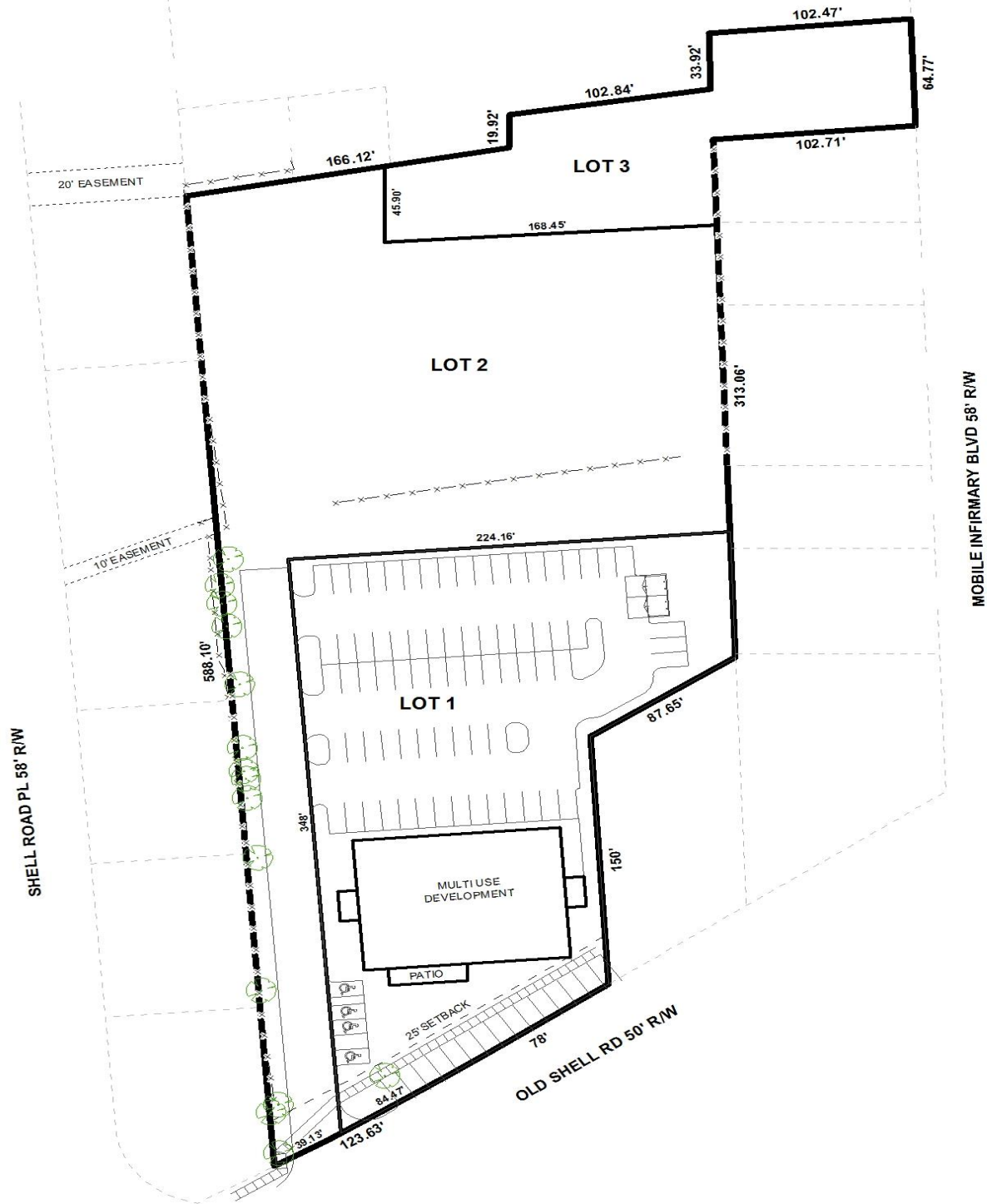
The site is surrounded by residential and commercial units.

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# SITE PLAN



The site plan illustrates the proposed building, parking lot and setbacks.

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NTS