

**SIDEWALK WAIVER REQUEST  
STAFF REPORT****Date: August 1, 2019****NAME**

Austal USA, LLC c/o High Performance Services

**LOCATION**50 Cochrane Causeway  
(East side of Cochrane Causeway at the East terminus of  
Dunlap Drive)**PRESENT ZONING**

I-2, Heavy Industrial District

**ENGINEERING****COMMENTS**

Although it appears that the current site conditions may allow for sidewalk construction within the ROW or property this area is heavily industrial, is located within ALDOT right-of-way, and runs parallel to an existing, wide drainage ditch that is tidally influenced and frequently inundated; therefore it is recommended that this request be approved.

**TRAFFIC ENGINEERING****COMMENTS**

No comments.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.

**REMARKS**

The applicant is requesting a waiver for the construction of a sidewalk along Cochrane Causeway, where the property will be developed with a new cell tower and compound with an access road off of Spanish Trail/ US 90. There is currently a land disturbance permit under review.

The applicant states:

*“Sidewalk is located along roadway has been noted as N/A according to ALDOT.”*

It should be noted that the Mobile City Council adopted a “complete streets” policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities.

The site has been given a Heavy Industry (HI) land use designation, per the adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional

detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies to larger parcels primarily devoted to high impact industrial activity which is preferably removed from residential and commercial uses. Light industry, industrial business or heavy commercial lands may separate heavy industry from other land uses.

Heavy industrial areas include collection, treatment, and manufacturing processes which use raw materials, are distinguished by the presence of noise, vibration, and/ or odors, and benefit from easy access to a multimodal freight transportation network. Certain types of heavy industry are characterized by low building coverage and activities that rely on large areas of outdoor storage of raw material stockpiles and/or waste-product disposal areas, storage tanks, pipelines, and transportation yards to handle the transfer of heavy materials. The outdoor storage areas should be screened as much as possible by the nature of the stored materials.

Land designated as HI may be underdeveloped due to the presence of wetlands on portions of the parcel. In these cases, the wetlands may serve to buffer surrounding uses from the potential impacts of the heavy industrial use. Undeveloped areas of HI parcels that have tree cover may be used as buffering between the heavy industrial use and other uses. Where buffers do not exist naturally, they should be provided as spelled out in the zoning and subdivision regulations. Open areas reserved for dredge disposal are also designated as HI and may contain wetlands.

In Mobile, port terminal facilities, docks, shipyards, drydocks, etc., are mostly owned by the State of Alabama. Although not subject to local zoning, these facilities are shown as heavy industrial uses in the FLUM.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

This development site is adjacent to industrially zoned properties to the North & West, waterfront to the East, and unzoned property to the South. Although the submitted site plan illustrates a sidewalk, Engineering notes that sidewalk construction difficult due to the subject site being industrially zoned, located within ALDOT right-of-way, and running parallel to an existing, wide drainage ditch.

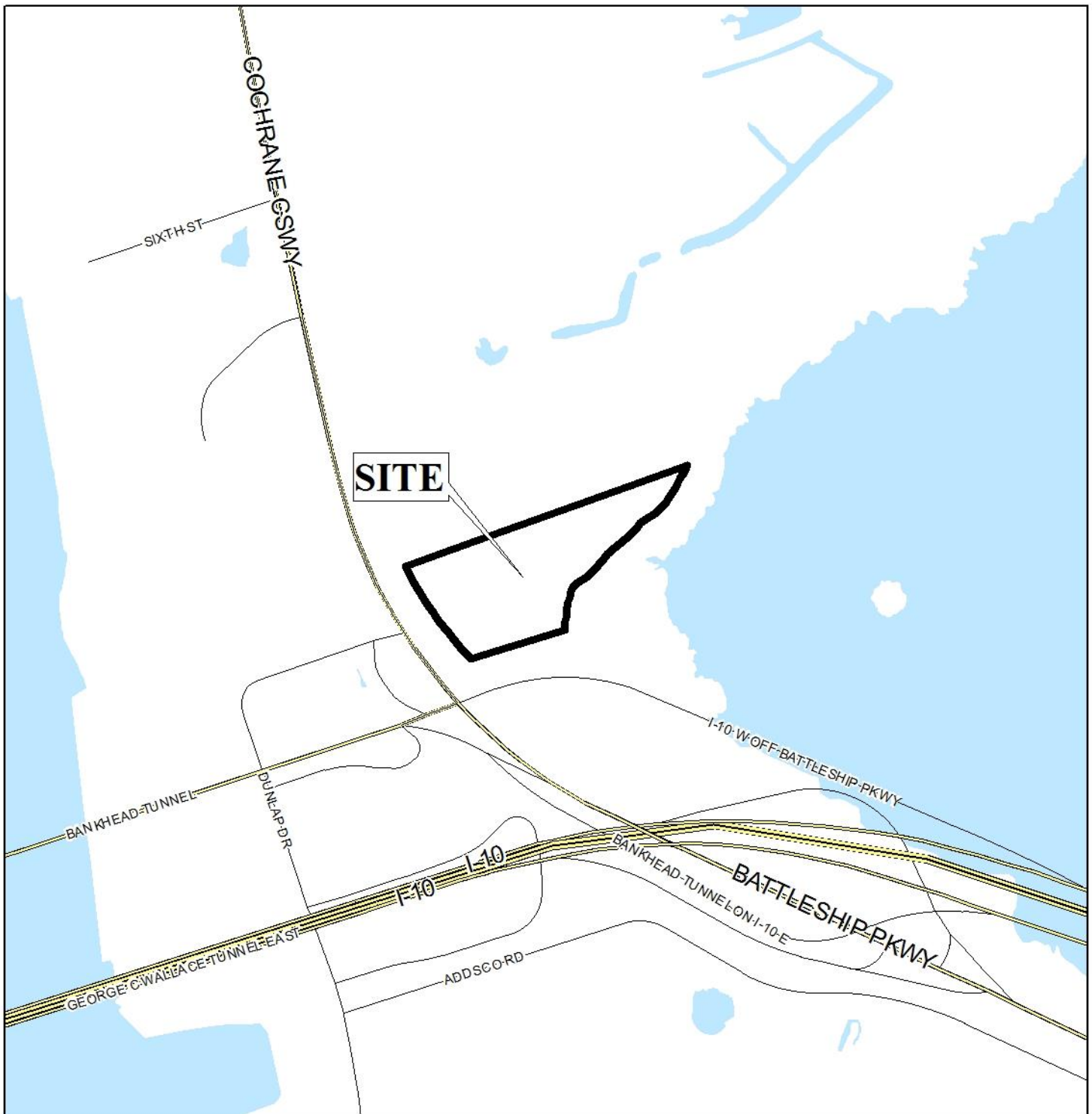
Nearby properties along Cochrane Causeway do not have sidewalks, as waivers have been previously granted along much of the Cochrane Causeway corridor.

Therefore, approval of this application may be appropriate. If the waiver is granted, the applicant will need to submit a revised site plan without a sidewalk prior to final inspections for the proposed cell tower.

**RECOMMENDATION**

Based upon the preceding, this application for waiver of the sidewalk is recommended for approval.

# LOCATOR MAP



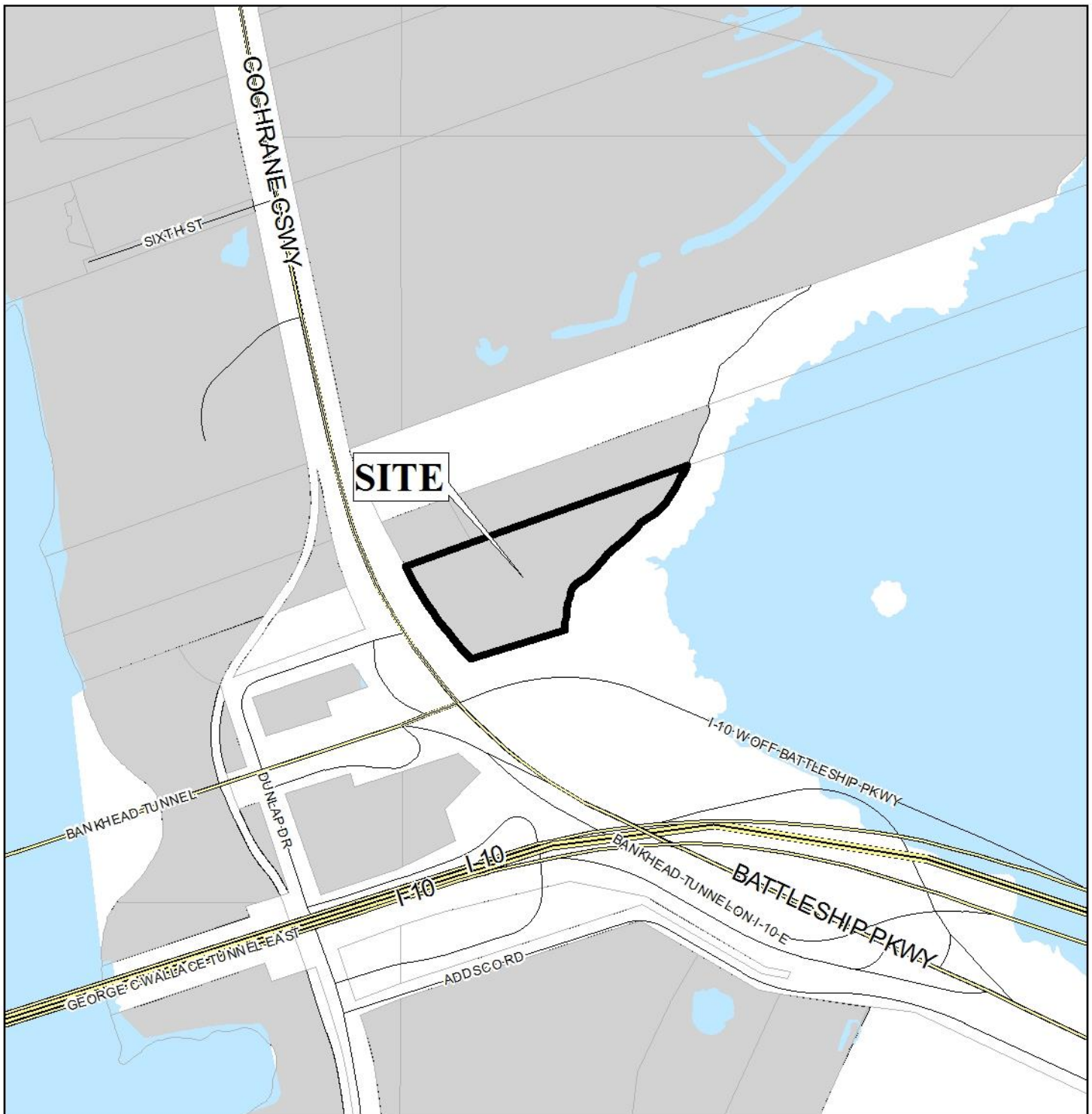
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# LOCATOR ZONING MAP



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# FLUM LOCATOR MAP



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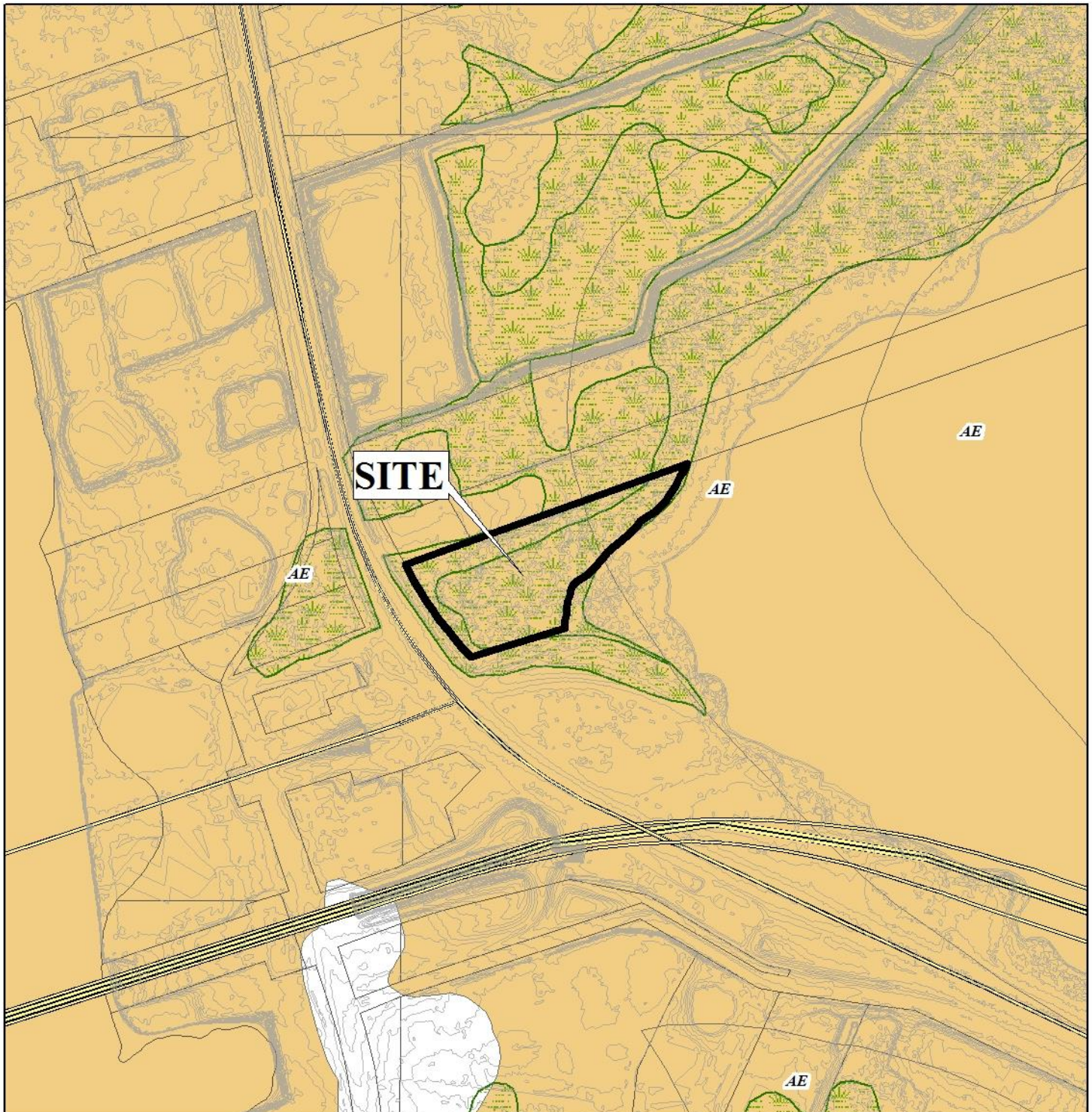
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Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	





# ENVIRONMENTAL LOCATOR MAP



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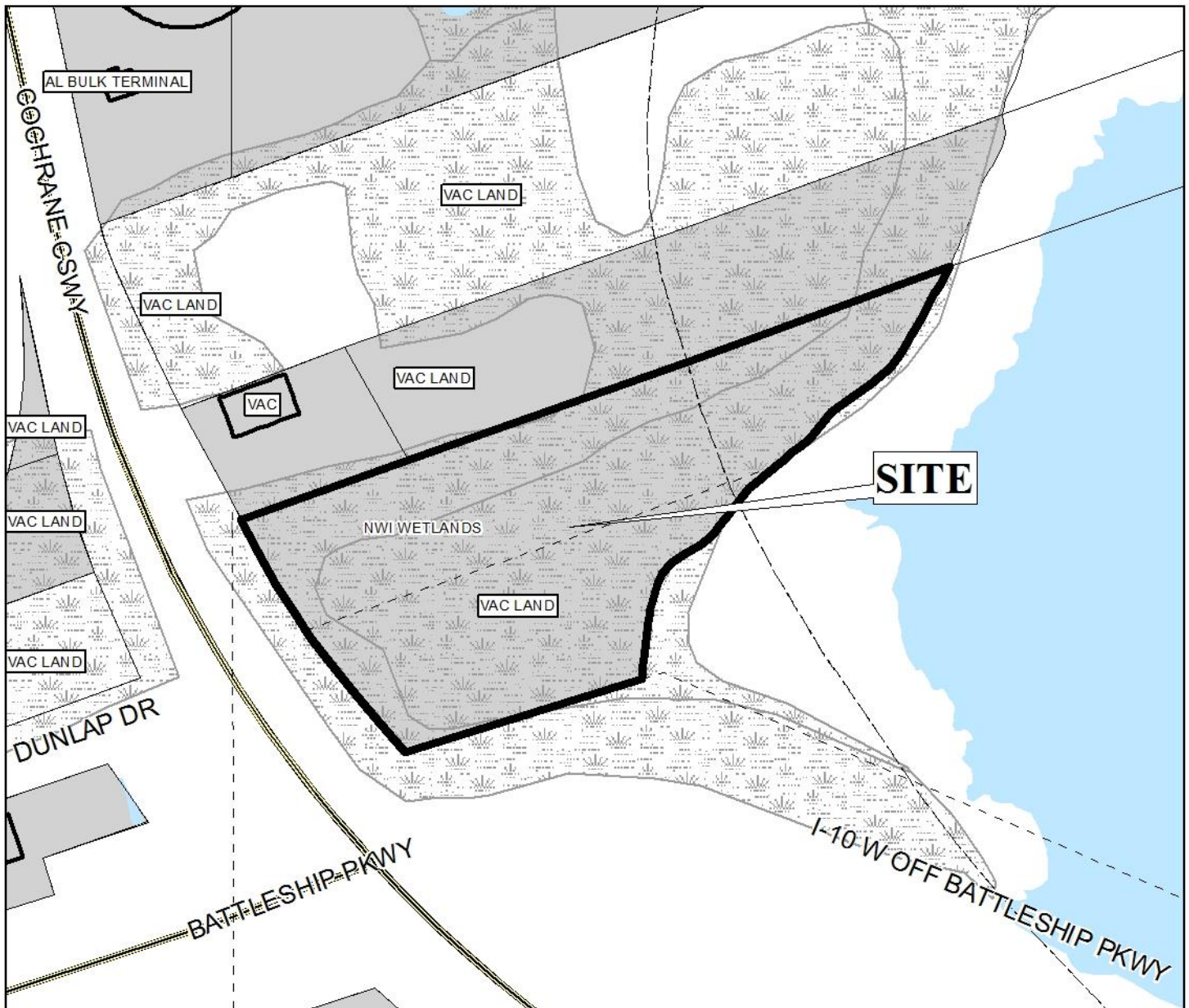
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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

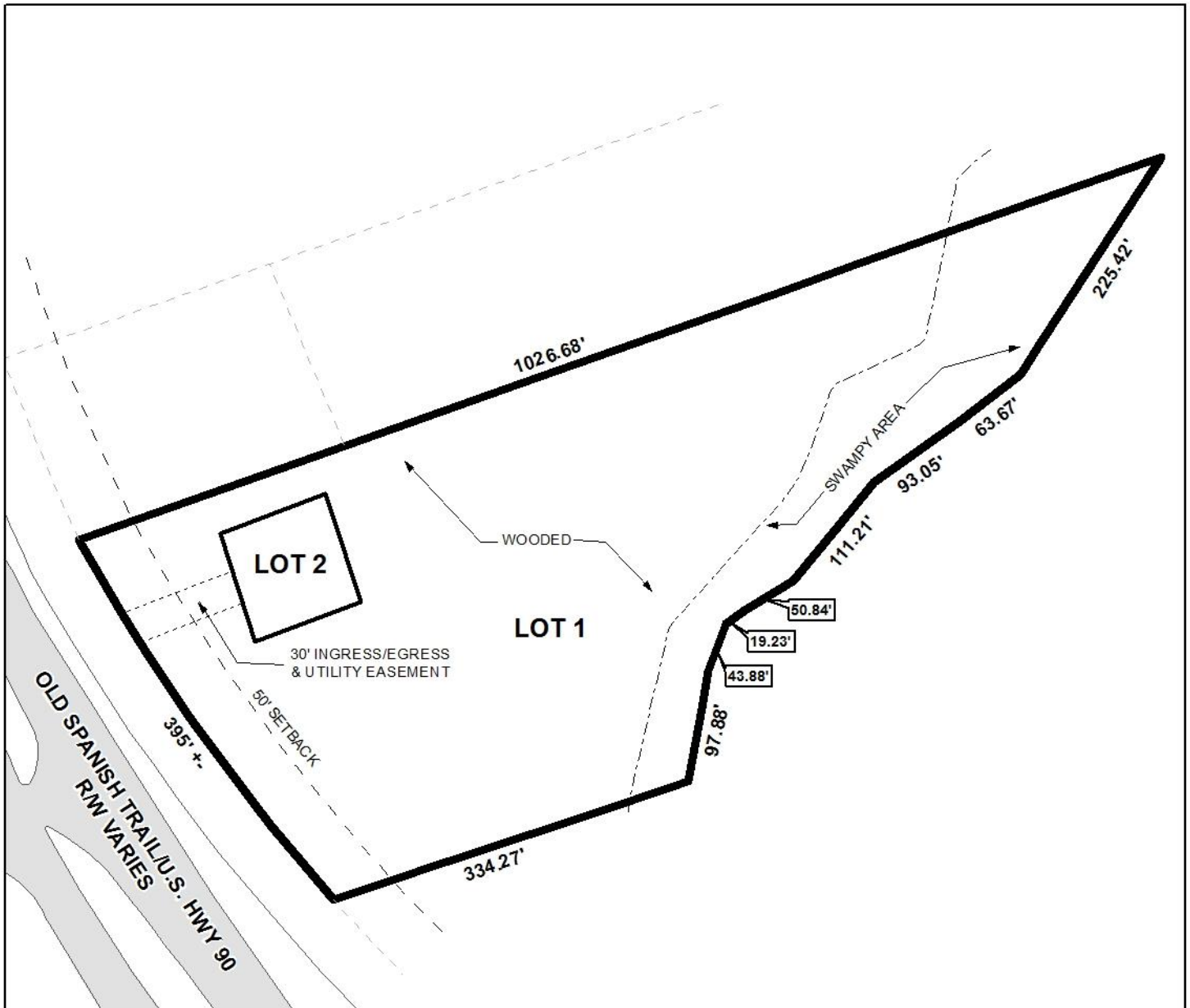


The site is surrounded by industrial units.

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# SITE PLAN



The site plan illustrates the setbacks and easements.

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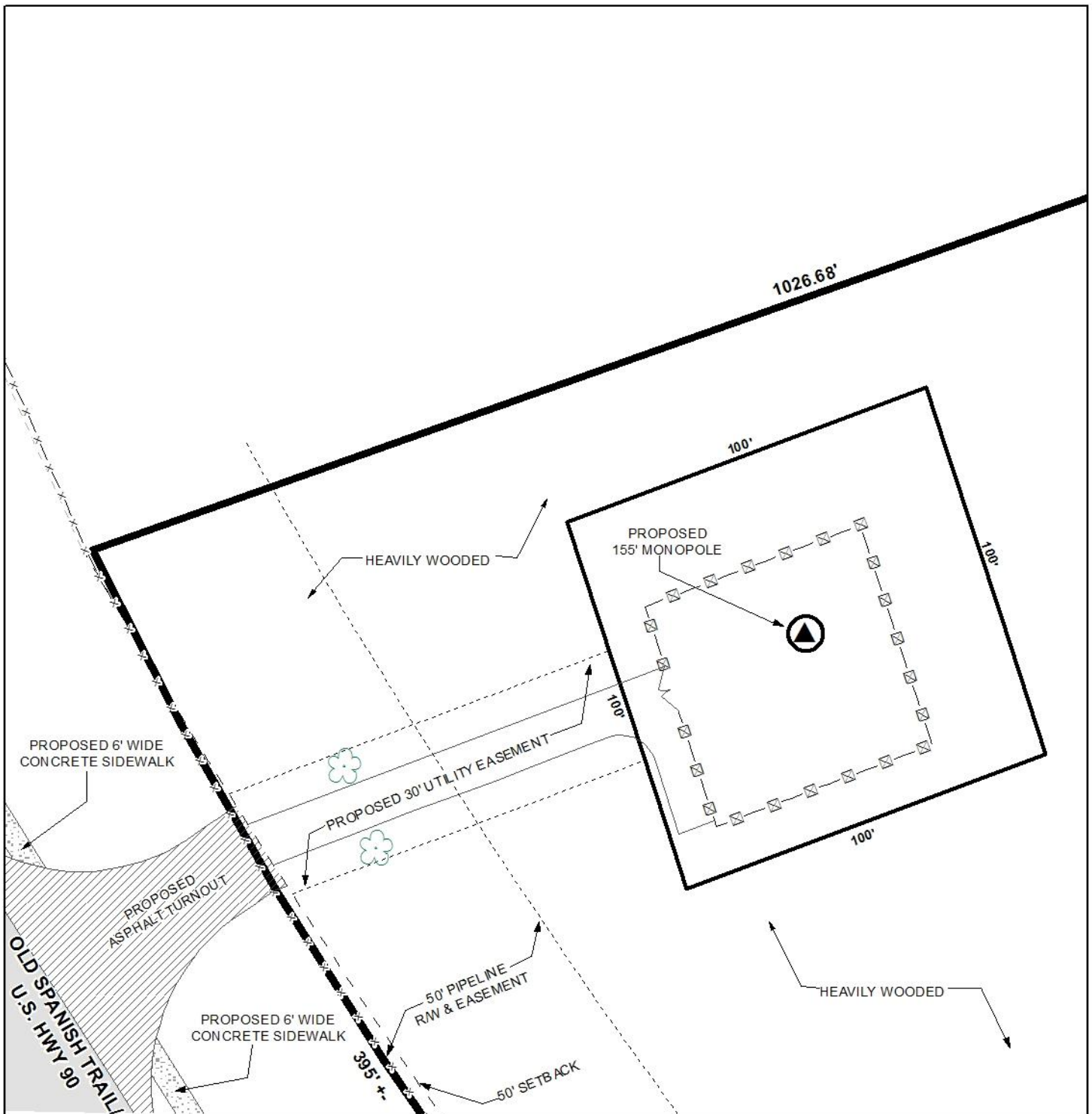
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# DETAIL SITE PLAN



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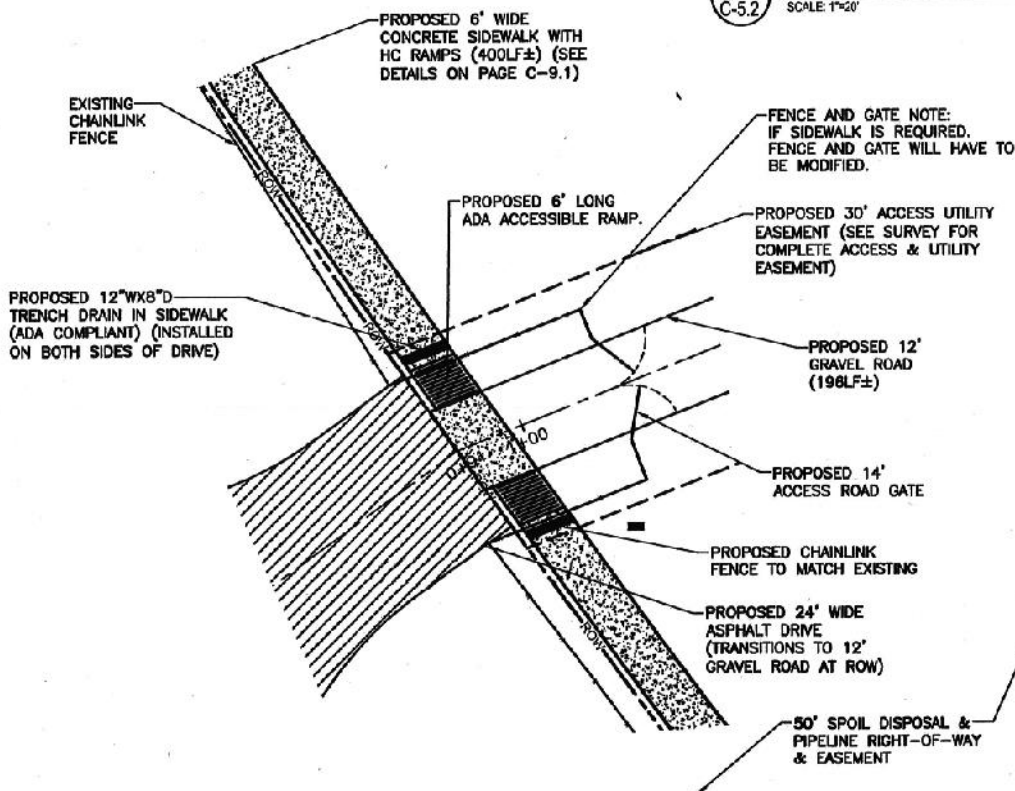
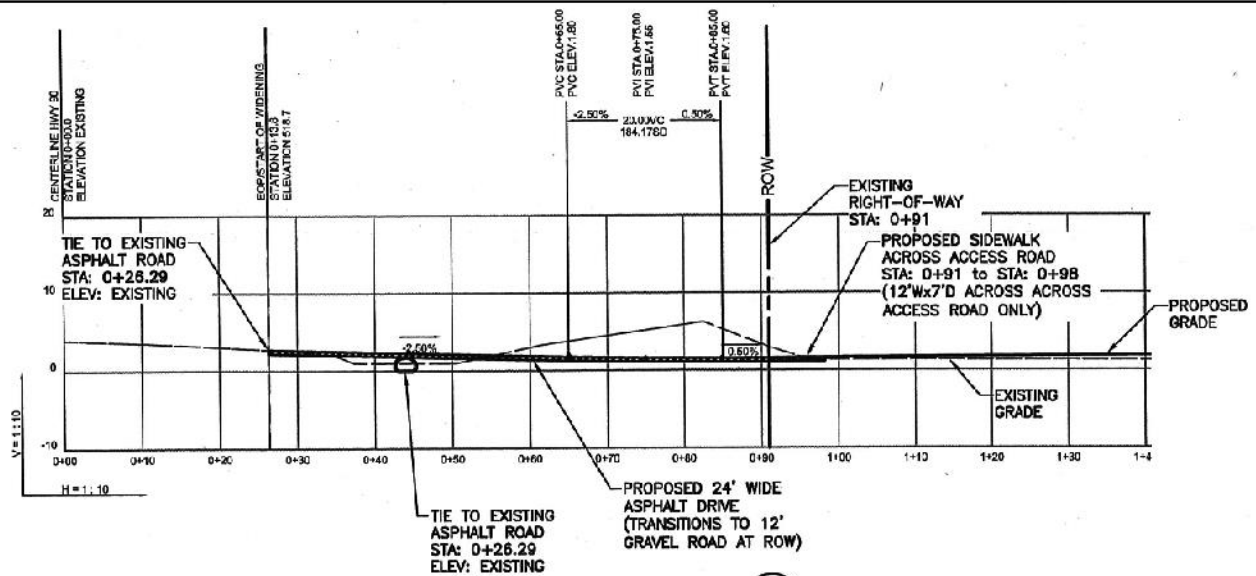
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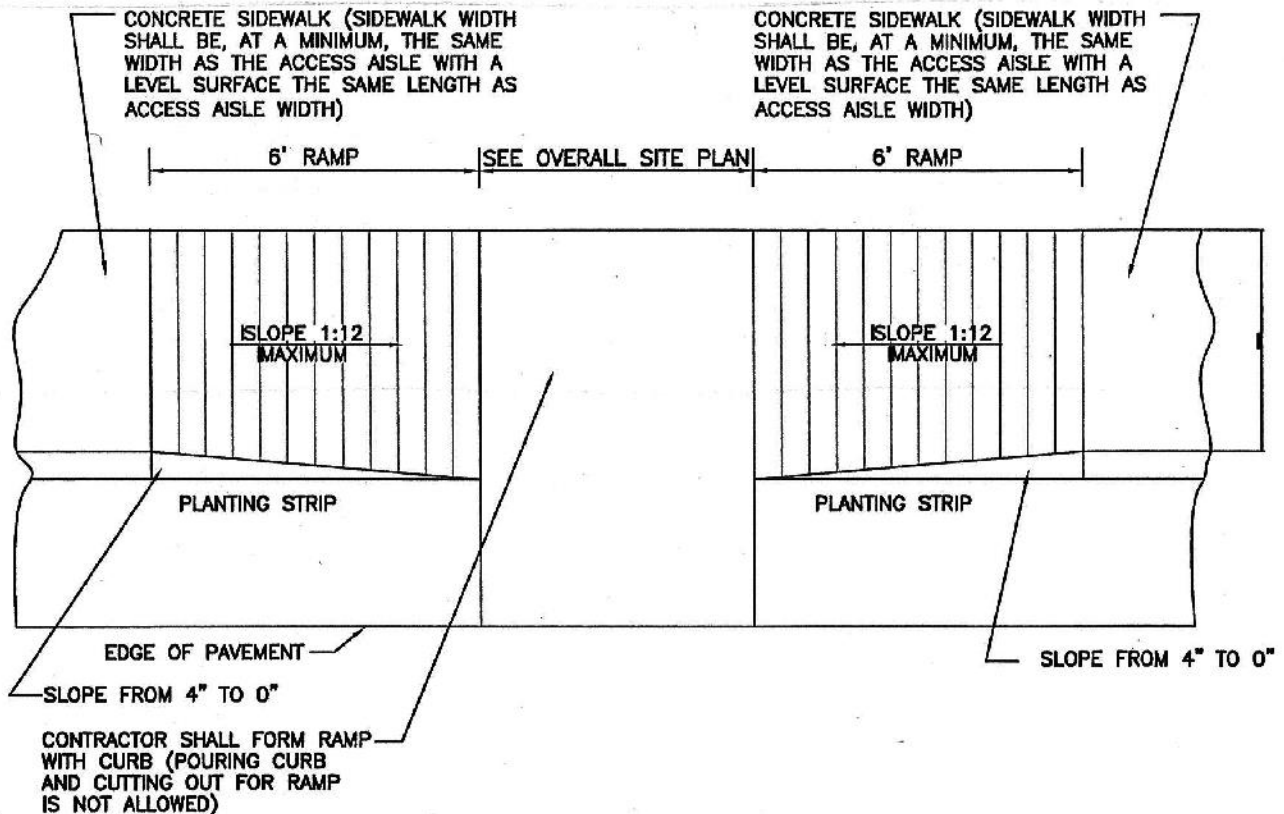
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# DETAIL SITE PLAN



## SIDEWALK HANDICAP RAMP DETAILS

NOT TO SCALE

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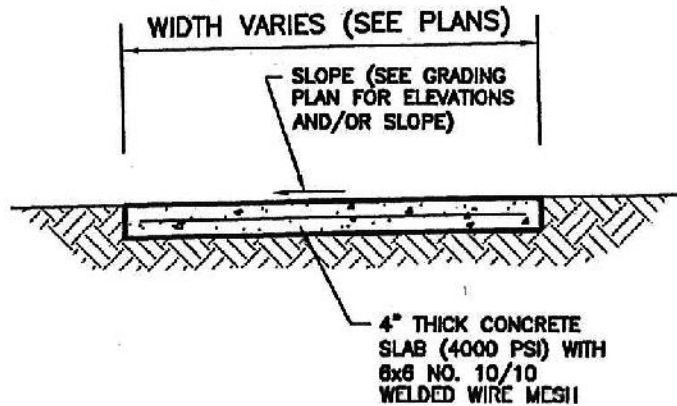
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# DETAIL SITE PLAN



NOTE:  
SEE SIDEWALK CONTRACTION/EXPANSION JOINT LAYOUT DETAIL FOR CONTRACTION/EXPANSION JOINT LAYOUT.

## GENERAL NOTES

1. EXPANSION JOINTS SHALL BE 1/2" PREMOLDED EXPANSION MATERIAL. INSTALL ON 50 CENTERS MAXIMUM AND NEXT TO BUILDINGS, STRUCTURES AND CURBS. ALL EDGES AND JOINTS TO BE ROUNDED TO 1/4 INCH RADIUS.
2. CONTRACTION JOINTS SHALL BE PLACED AT 5 CENTERS MAXIMUM. JOINTS SHALL BE FORMED BY 1/8" METAL PLATES REMOVED AFTER FINISHING OR BY CUTTING SLAB TO 1/3" OF FULL DEPTH. ROUND ALL EDGES WITH 1/4 INCH RADIUS WITH GROOVE FINISHING TOOL.
3. ALL SURFACES SHALL HAVE A BROOM FINISH PERPENDICULAR ACROSS SIDEWALK.
4. CONTROL JOINTS TO BE CUT AS SOON AS POSSIBLE AFTER POURING CONCRETE BUT NOT EXCEED 24 HOURS.
5. CONTRACTOR SHALL COMPACT SUBGRADE TO MINIMUM 98% STANDARD PROCTOR DENSITY.

## STANDARD SIDEWALK DETAIL NOT TO SCALE

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