

UNITY CHRIST CHURCH OF TRUTH SUBDIVISION, **RESUBDIVISION OF LOT 2**

Engineering Comments: The storm water ordinance does not allow water to be concentrated onto an adjacent property without a hold harmless agreement. All storm water must tie to the City of Mobile storm drainage system. Detention is required for all impervious area constructed after 1984. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity Assurance application is approved by Volkert Engineering, Inc.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: No comments.

The plat illustrates the proposed 3.0± acre, 2-lot subdivision which is located on the South side of Cottage Hill Road, between Pavan Drive and West Drive, and is in Council District 6. The applicant states that the subdivision is served by both public water and sewer.

The purpose of this application is to create two legal lots from one legal lot.

The site fronts Cottage Hill Road, Pavan Drive and West Drive. Cottage Hill Road which has an existing right-of-way of 80-feet, is shown as a major street on the Major Street Component of the Comprehensive Master Plan, and as such requires a 100-feet; therefore, the provision of a 75-foot setback (which includes the required minimum building setback of 25-feet), from the centerline of Cottage Hill Road, to provide for the right-of-way of the planned major street should be required. Pavan Drive and West Drive meets the minor street standards of the Major Street component of the Comprehensive Master Plan.

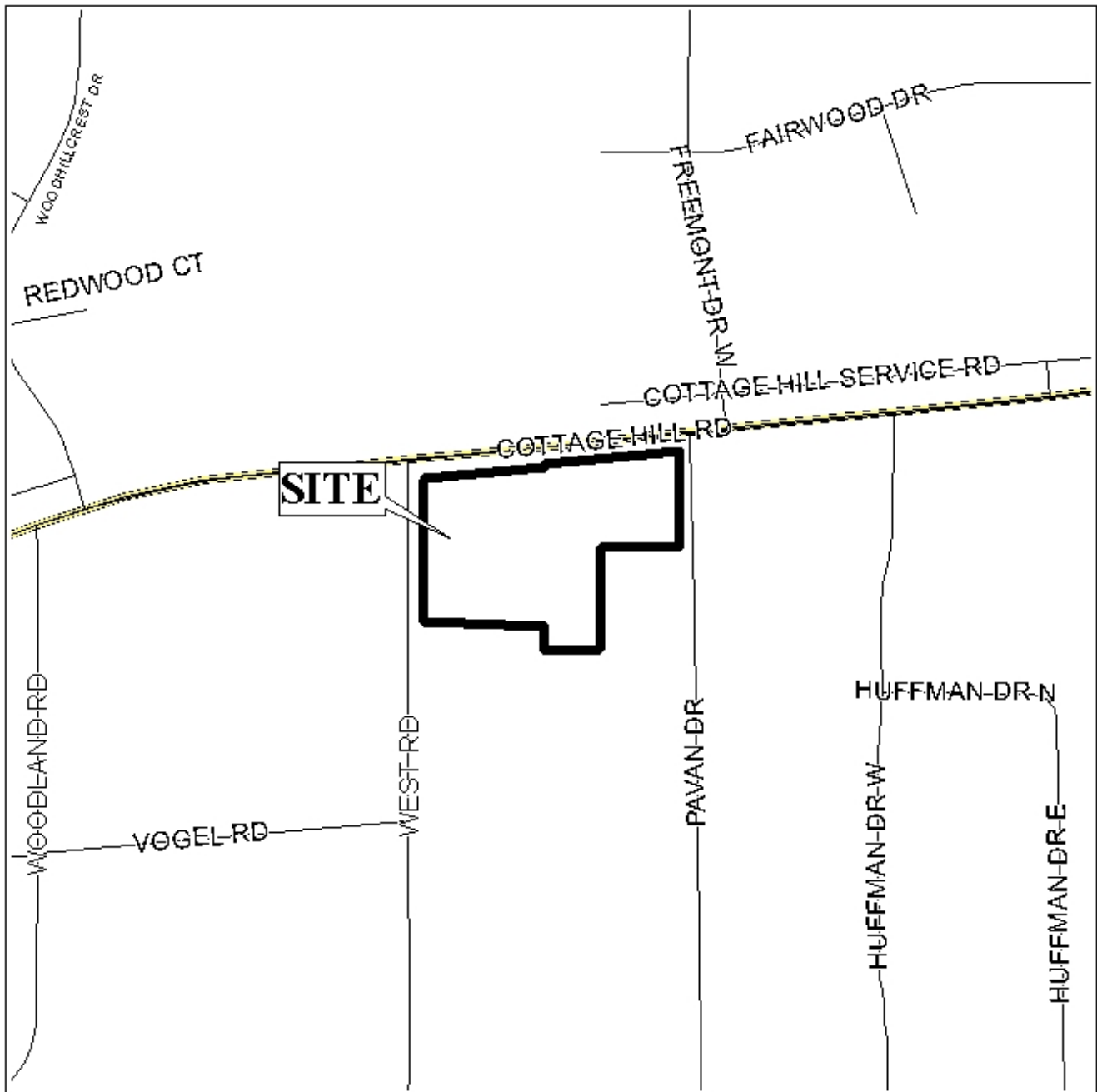
Additionally, since the development will have approximately 527-feet of road frontage on a major street, access management is a concern; therefore, a note should be placed on the final plat stating that the development should be limited to the existing curb cuts.

As illustrated on the Vicinity Map the proposed interior lot line bisects the existing dwelling. However, the intent of the proposed subdivision is to create a separate lot from the existing religious facility; therefore, the lot line must be relocated to provide a minimum of 8-foot side yard setback or the dwelling demolished prior to signing and recording of the Final Plat.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following condition:

- 1) the provision of a 75-foot setback (which includes the required minimum building setback of 25-feet), from the centerline of Cottage Hill Road;
- 2) the placement of a note on the final plat stating that the development is limited to the existing curb cuts; and
- 3) the illustration of the dwelling and the compliance with the setback requirements of the Zoning Ordinance on the Final Plat or the dwelling demolished prior to signing and recording of the Final Plat.

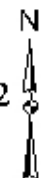
LOCATOR MAP



APPLICATION NUMBER 8 DATE April 5, 2007

APPLICANT Unity Christ Church of Truth Subdivision, Resubdivision of Lot 2

REQUEST Subdivision



NTS

UNITY CHRIST CHURCH OF TRUTH SUBDIVISION, RESUBDIVISION OF LOT 2



APPLICATION NUMBER 8 DATE April 5, 2007

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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