

THEODORE INDUSTRIAL PARK SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

MAWSS Comments: No comments.

The plat illustrates the proposed 3-lot, 222.8+ acre subdivision located on the North side of Industrial Road, 2/10 mile+ West of Mitsubishi Lane, within the Planning Jurisdiction. The applicant states that the site is served by public water and sewer services.

The purpose of this application is to create three legal lots of record from one existing metes-and-bounds parcel. The Subdivision was originally approved at the Commission's meeting of December 18, 2014, and extended in 2015. The plat was never signed and the Subdivision expired.

The site has frontage along Industrial Road, which was previously shown as a major street on the Major Street Plan component of the Comprehensive Plan with a required 100' right-of-way width. However, Industrial Road has since been removed from the Major Street Plan. Industrial Road is a private road with an 80' right-of-way width depicted on the preliminary plat. No right-of-way dedication should be required; however, the minimum building setbacks should be labeled to be at the northern edge of the adjacent 50' railroad easement. Proposed Lot 1 will also have frontage along Mitsubishi Lane, a private road with a 100' right-of-way; thus no dedication will be required.

The 25-foot minimum building setback line, required in Section V.D.9., is not illustrated on the plat. Staff has determined that because the site is an industrial site and there are various railroad spur easements located throughout the property, the 25' minimum building setback requirements will not be required where the railroad easements are depicted on the plat.

According to City GIS imagery there appear to be public rights-of-way which meander throughout the site. This resulted in the original application being recommended for holdover to revise the plat to depict all public rights-of-way and provide a 25' minimum building setback or provide documentation regarding the vacation or non-existence of these rights-of-way. Documentation of title search was presented prior to the Commission meeting verifying that these are not public rights-of-way and staff recommended the Subdivision for approval at the meeting subject to conditions prepared for such an instance.

The proposed lots meet the minimum size requirements of the Subdivision Regulations; however, the lots are labeled with their sizes in acres only. Therefore, the plat should be revised

to label each lot with its size in both square feet and acres, or a table should be furnished on the Final Plat providing the same information.

There are several drainage, utility, and access easements located on the site. A note should be placed on the Final Plat stating no structures shall be constructed or placed within any easements.

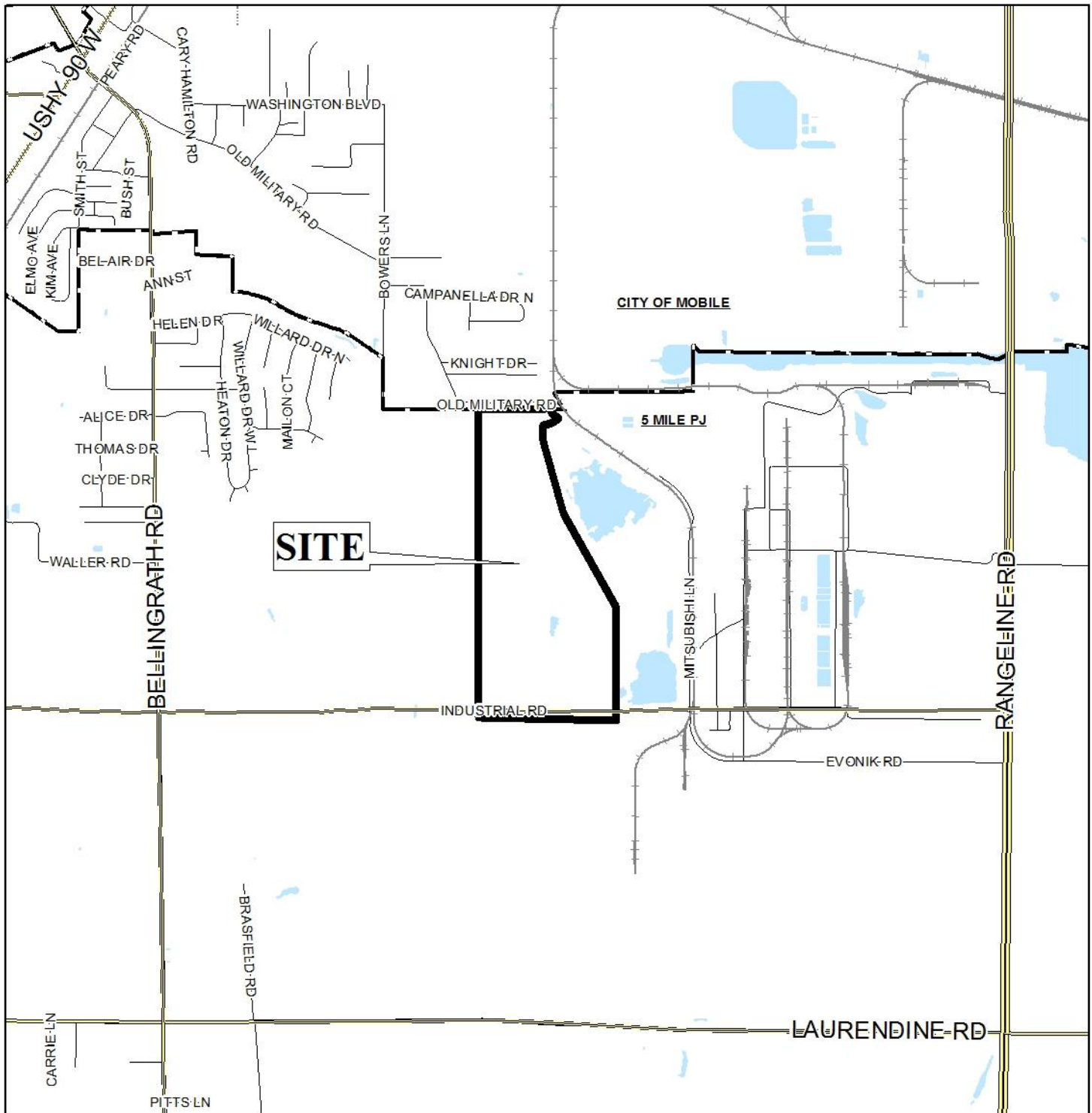
While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.8 of the Subdivision Regulations.

RECOMMENDATIONS Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

1. revision of the plat to depict the 25' minimum building setback line except from street rights-of-way where the railroad easements are illustrated on the plat;
2. revision of the plat to label each lot with its size in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
3. placement of a note on the Final Plat stating that no structures shall be constructed or placed within any easements;
4. placement of a note on the Final Plat stating that development will be designed to comply with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances prior to the issuance of any permits. Certification to be submitted to the Planning and Zoning Department and County Engineering;
5. placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
6. compliance with the Engineering comments: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and*
7. compliance with the Fire Department comments: *[Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).].*

LOCATOR MAP



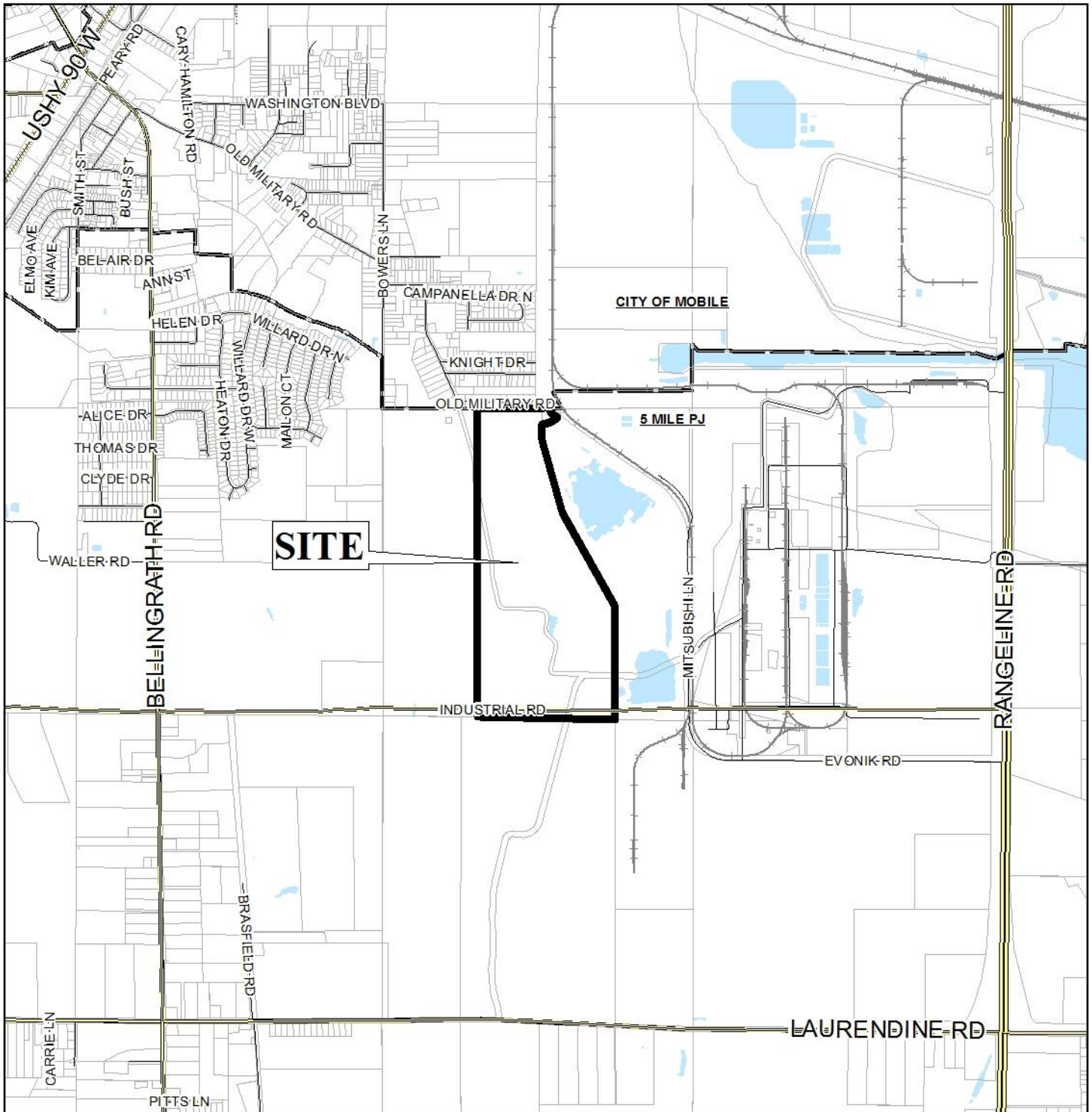
APPLICATION NUMBER 8 DATE March 1, 2018

APPLICANT Theodore Industrial Park Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



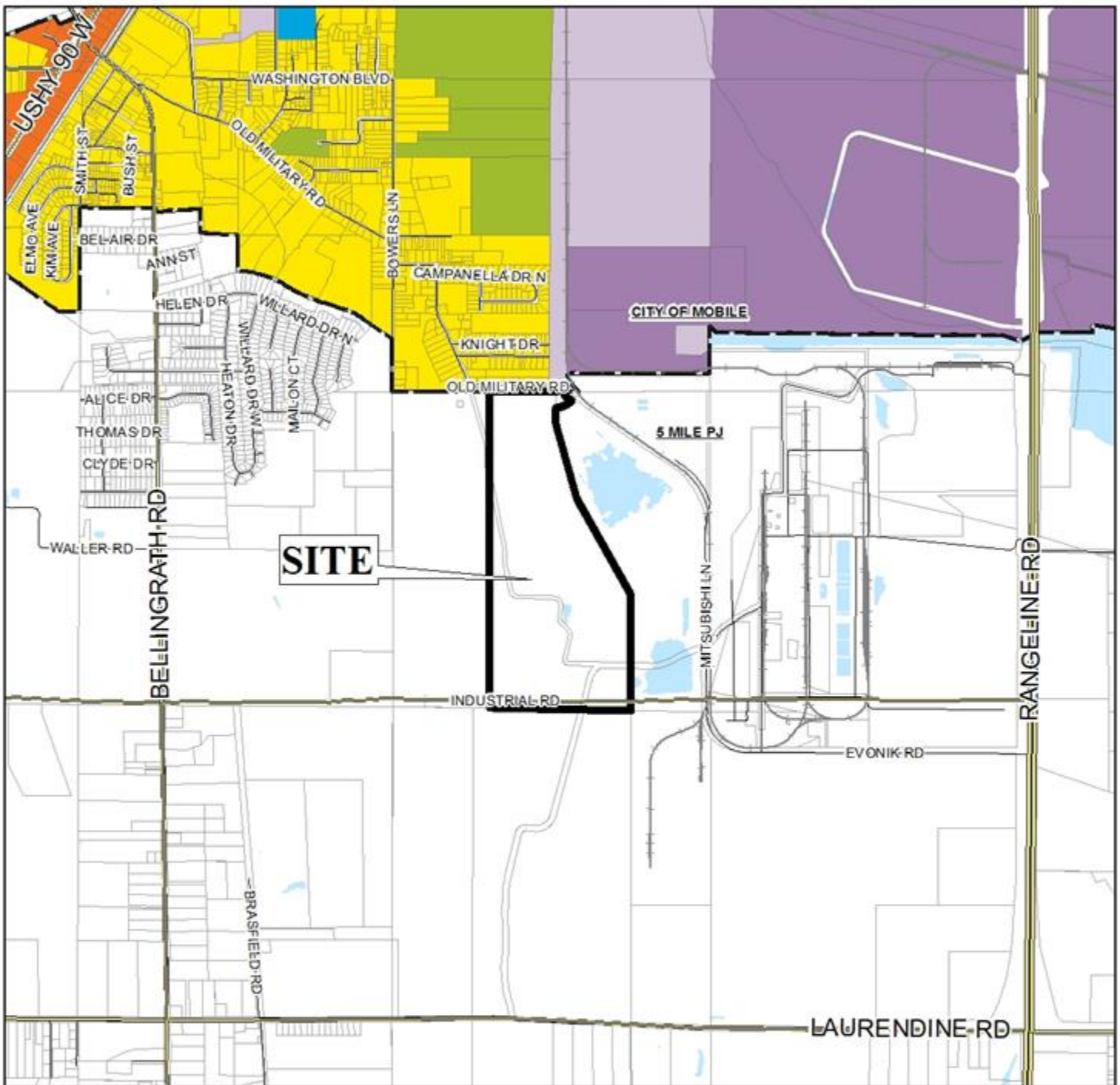
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APPLICANT Theodore Industrial Park Subdivision

REQUEST Subdivision



FLUM LOCATOR MAP



APPLICATION NUMBER 8 DATE March 1, 2018

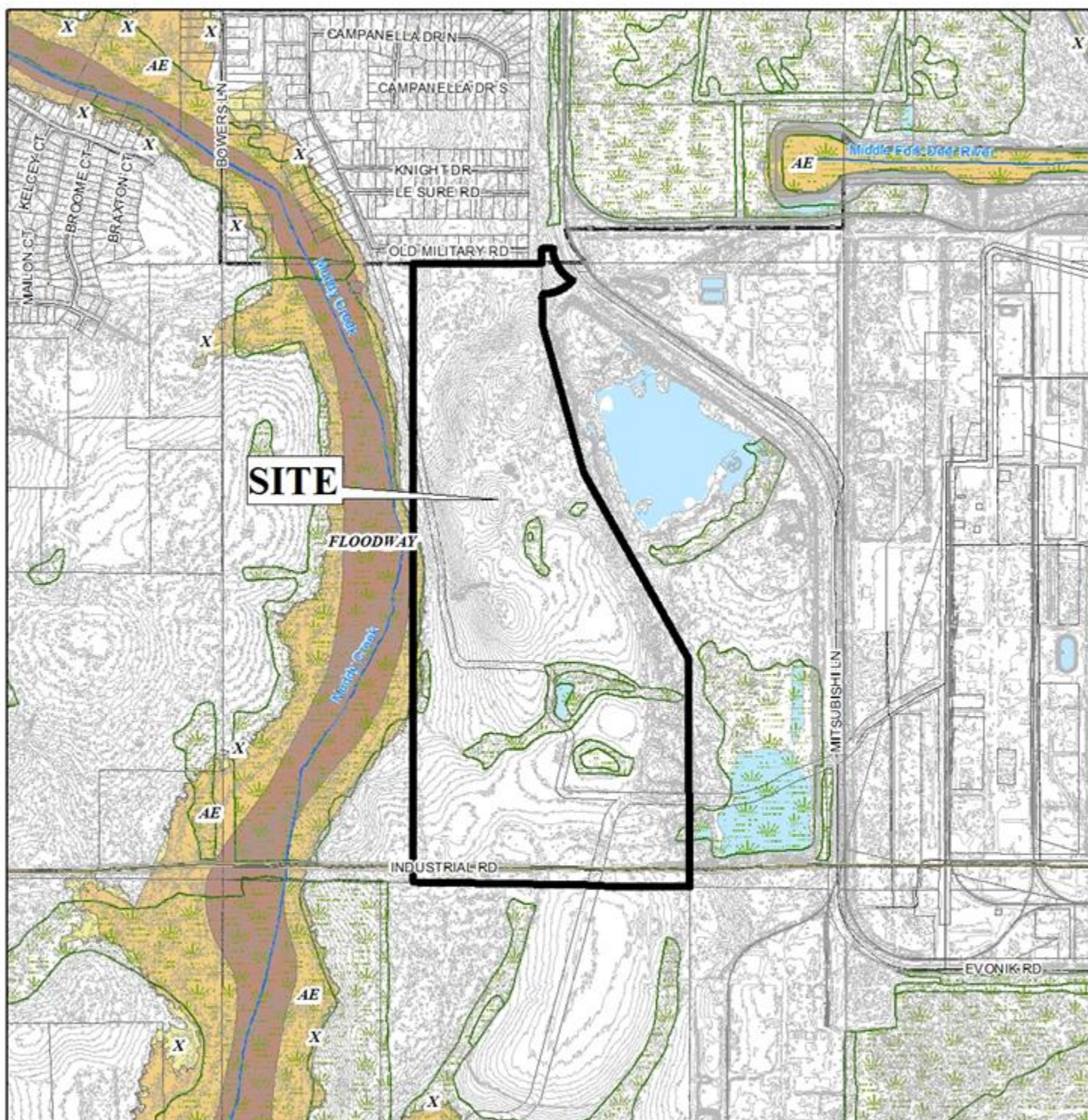
APPLICANT Theodore Industrial Park Subdivision

REQUEST Subdivision

| | | | |
|---------------------------|-----------------------------------|---------------------|--------------------|
| Low Density Residential | Neighborhood Center - Traditional | Downtown Waterfront | Parks & Open Space |
| Mixed Density Residential | Neighborhood Center - Suburban | Light Industry | Water Dependent |
| Downtown | Traditional Corridor | Heavy Industry | |
| District Center | Mixed Commercial Corridor | Institutional | |



ENVIRONMENTAL LOCATOR MAP



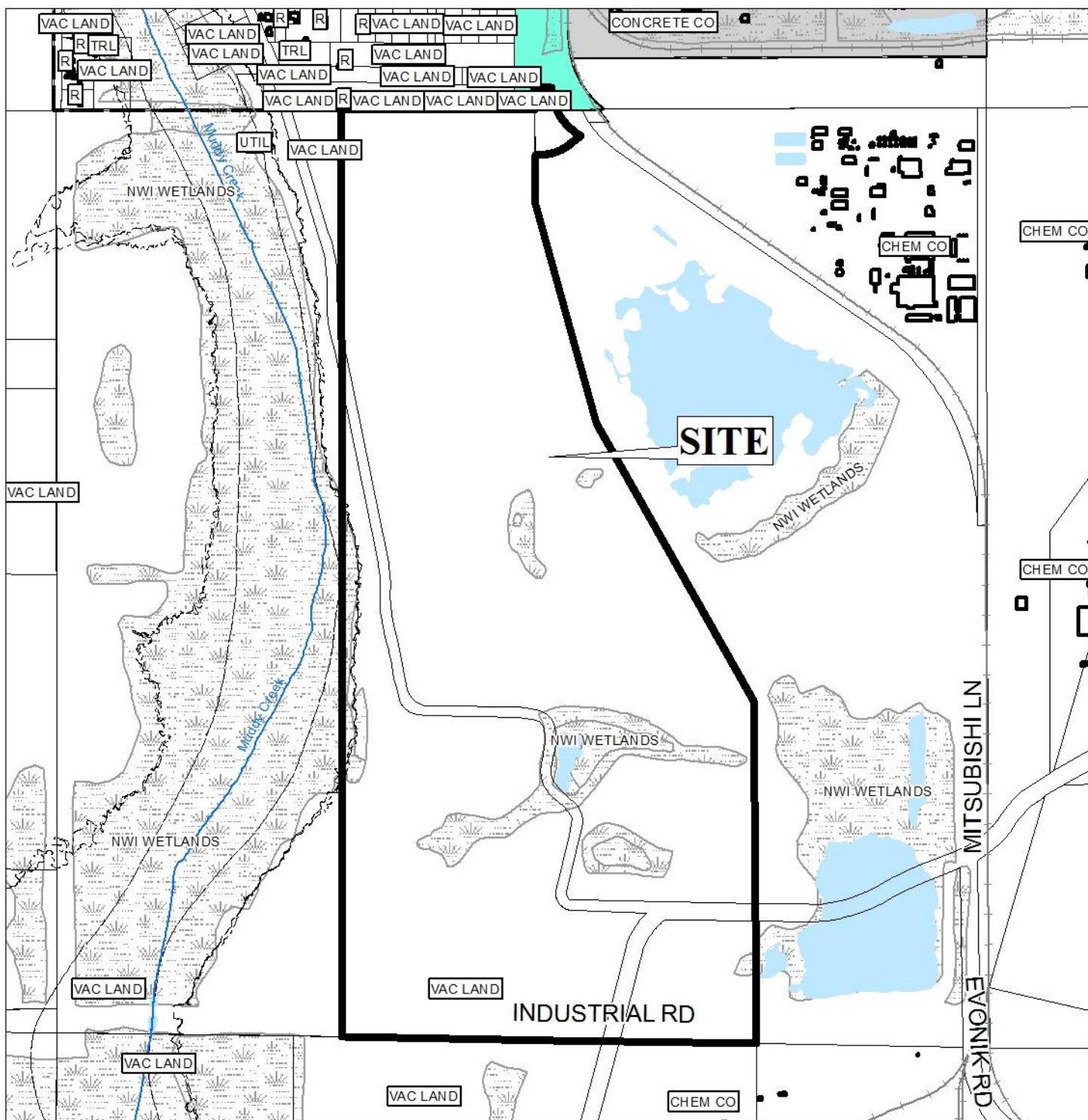
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APPLICANT Theodore Industrial Park Subdivision









REQUEST Subdivision



















THEODORE INDUSTRIAL PARK SUBDIVISION



APPLICATION NUMBER 8 DATE March 1, 2018

 R-A
  R-3
  T-B
  B-2
  B-5
  MUN
  SD-WH
  T5.1

 R-1
  R-B
  B-1
  B-3
  I-1
  OPEN
  T3
  T5.2

 R-2
  H-B
  LB-2
  B-4
  I-2
  SD
  T4
  T6



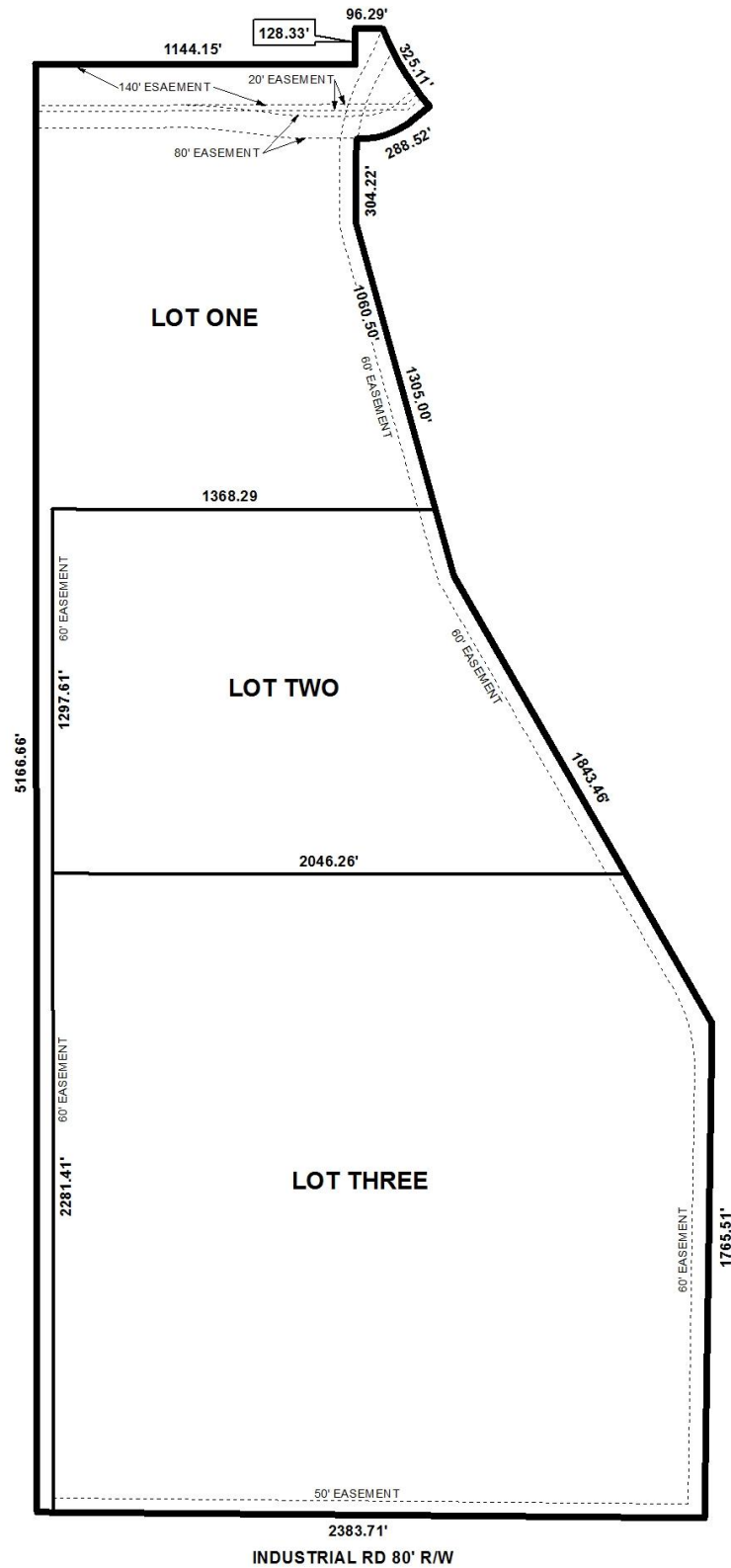
THEODORE INDUSTRIAL PARK SUBDIVISION



APPLICATION NUMBER 8 DATE March 1, 2018



DETAIL SITE PLAN



APPLICATION NUMBER 8 DATE March 1, 2018

APPLICANT Theodore Industrial Park Subdivision

REQUEST Subdivision



NTS

