

**STONE HEDGE SUBDIVISION, UNIT ONE,**  
**RESUBDIVISION OF LOTS 6 & 7**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

MAWSS Comments: No comments.

The plat illustrates the proposed 2-lot, 1.3± acre subdivision located at the Northeast corner of Stone Hedge Drive West and Stone Creek Court, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and sanitary sewer services.

The purpose of this application is to create two legal lots from two existing legal lots of record via the reconfiguration of the internal common property line. The two lots were created with the approval of Stone Hedge Subdivision in 1998 by the Commission.

Both lots would have frontage on Stone Hedge Drive West and Lot A would have frontage on both Stone Hedge Drive West and Stone Creek Court. Both streets are minor streets with curb and gutter with compliant 50' rights-of-way; therefore, no dedication would be required. Each lot has an existing driveway with one curb cut to a garage and a circular front yard driveway with two curb cuts. As a means of access management, a note should be required on the Final Plat stating that each lot is limited to its existing curb cuts, with the size, design and location to be approved by County Engineering and conform to AASHTO standards.

The originally-recorded 30' minimum building setback line is indicated on the plat and should be retained on the Final Plat. Also illustrated on the plat is a 7.5' utility easement along both street frontages, and this should be retained on the Final Plat. Proposed Lot A contains a drainage and utility easement running from the rear yard, along the East boundary extending into proposed Lot B and to Stone Hedge Drive West. Proposed Lot B contains a sanitary sewer easement adjacent to the easement extending from proposed Lot A. Therefore, a note should be placed on the Final Plat stating that no structure may be constructed or placed within any easement.

Although not specific to the two proposed lots, the over-all Stone Hedge Subdivision, Unit One was recorded with various Common Areas. Therefore, a note should be placed on the Final Plat stating that the maintenance of the Common Areas within Stone Hedge Subdivision, Unit One is the responsibility of the property owners.

The proposed lots meet the minimum size requirements of the Subdivision Regulations and are labeled with their sizes in both square feet and acres on the preliminary plat. The labels should be retained on the Final Plat, or a table should be furnished on the Final Plat providing the same information.

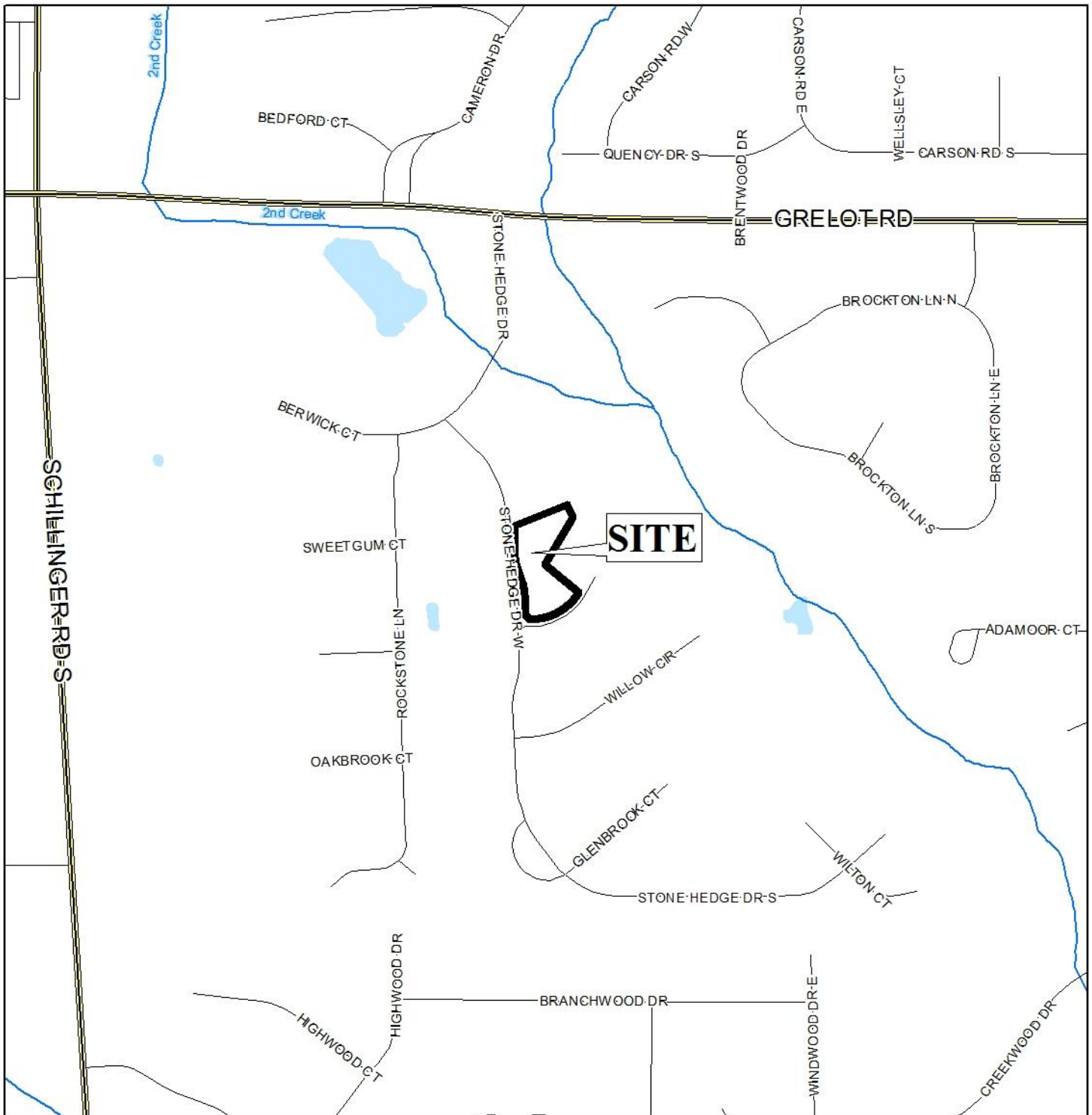
While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning and Zoning Department and County Engineering.

A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that each lot is limited to its existing curb cuts, with the size, design and location to be approved by County Engineering and conform to AASHTO standards;
- 2) retention of the 30' minimum building setback line along all street frontages on the Final Plat;
- 3) retention of the 7.5' utility easement along all street frontages on the Final Plat;
- 4) placement of a note on the Final Plat stating that no structure may be constructed or placed within any easement;
- 5) placement of a note on the Final Plat stating that the maintenance of the Common Areas within Stone Hedge Subdivision, Unit One is the responsibility of the property owners;
- 6) retention of the lot size labels in both square feet and acres or the furnishing of a table on the Final Plat providing the same information;
- 7) placement of a note on the Final Plat stating that the site must comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning and Zoning Department and County Engineering;
- 8) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations; and
- 9) compliance with the Fire Department comments: [Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).].

# LOCATOR MAP



APPLICATION NUMBER 8 DATE September 7, 2017

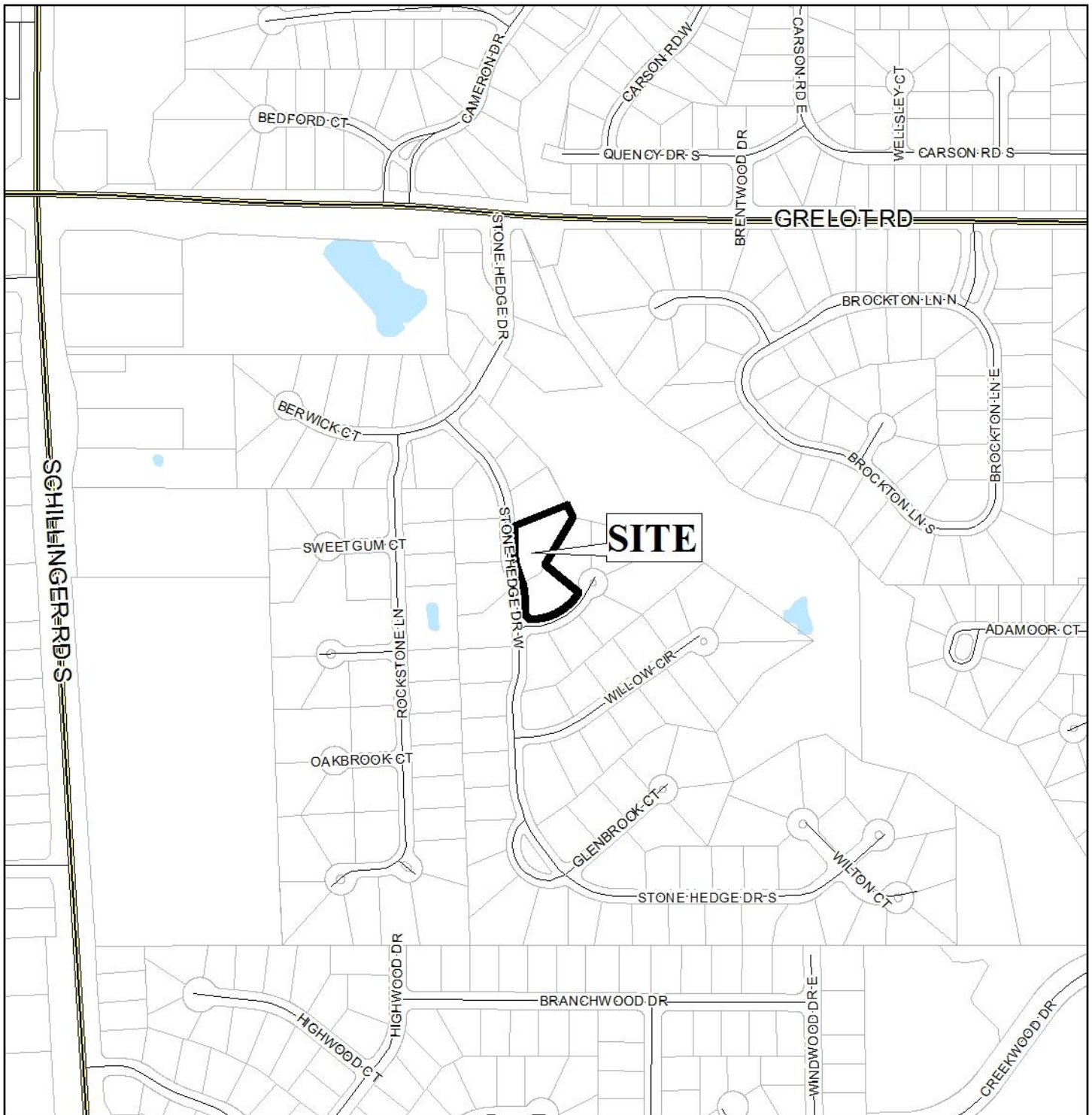
APPLICANT Stone Hedge Subdivision, Unit One, Resubdivision of Lots 6 & 7

REQUEST Subdivision



NTS

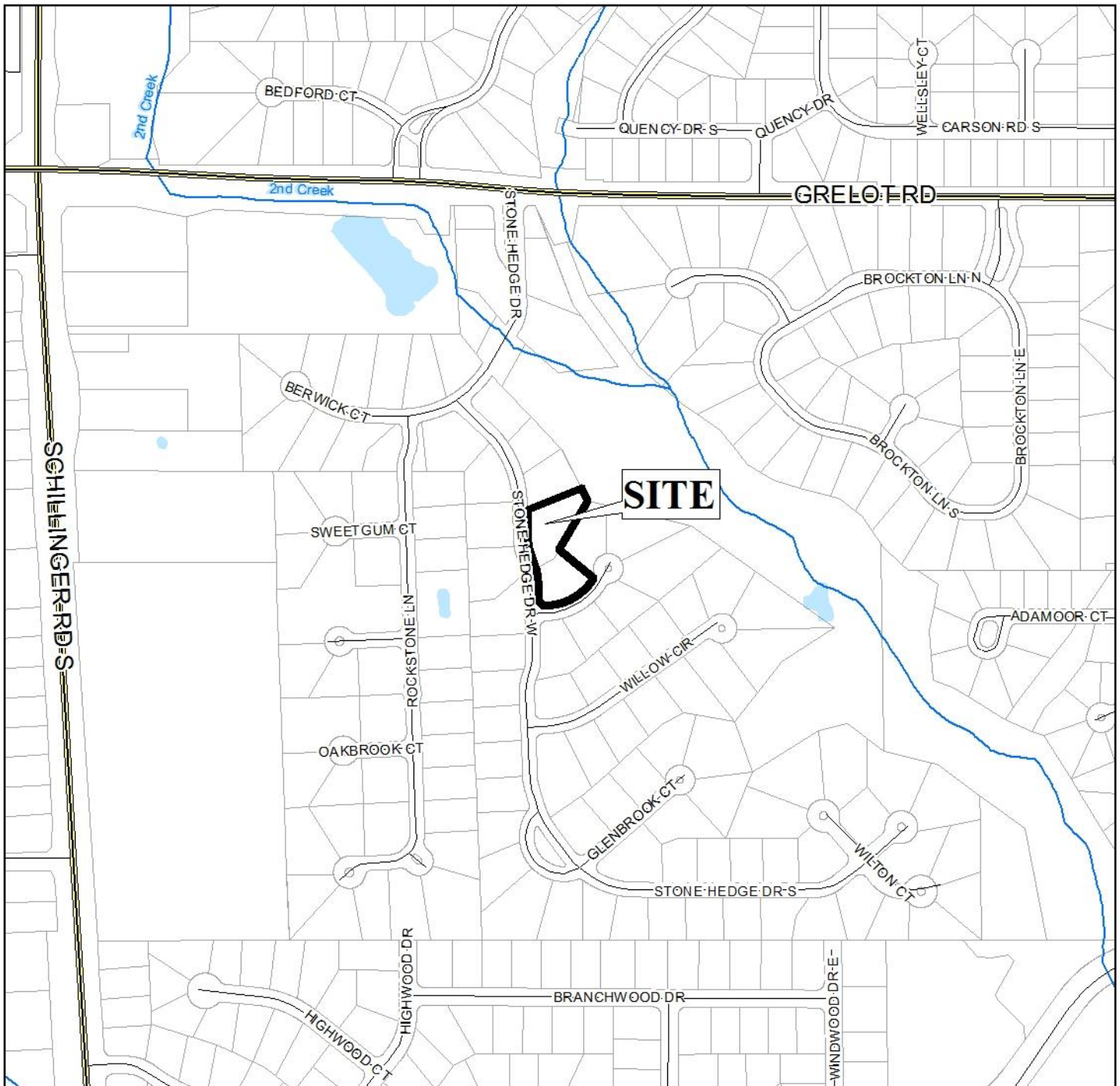
# LOCATOR ZONING MAP



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# FLUM LOCATOR MAP



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REQUEST Subdivision

Low Density Residential	Neighborhood Center- Traditional	Downtown Waterfront	Water Dependent
Mixed Density Residential	Traditional Corridor	Light Industry	Parks & Open Space
Downtown	Neighborhood Center- Suburban	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



# ENVIRONMENTAL LOCATOR MAP



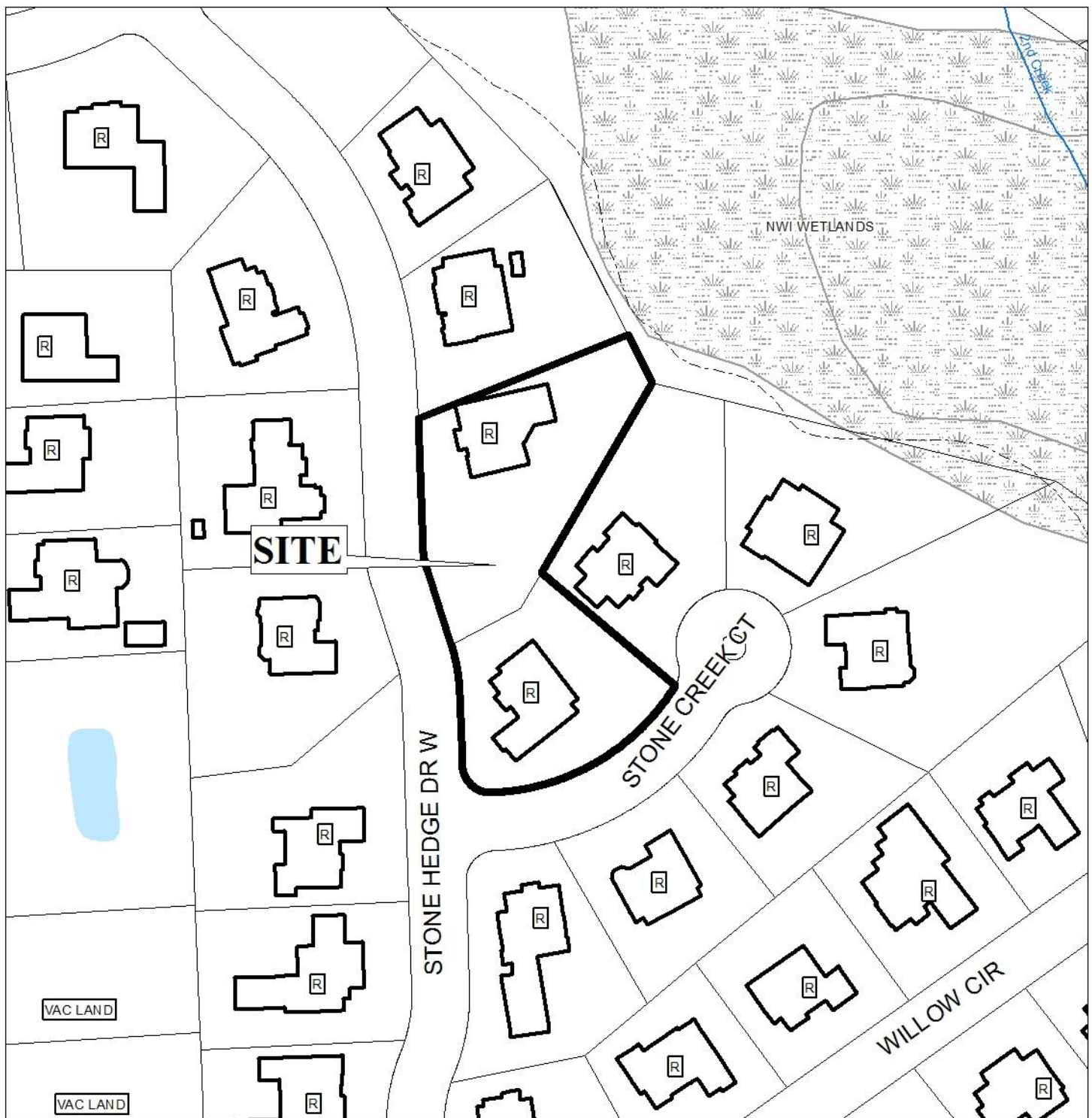
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APPLICANT Stone Hedge Subdivision, Unit One, Resubdivision of Lots 6 & 7

REQUEST Subdivision



# STONE HEDGE SUBDIVISION, UNIT ONE, RESUBDIVISION OF LOTS 6 & 7



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6

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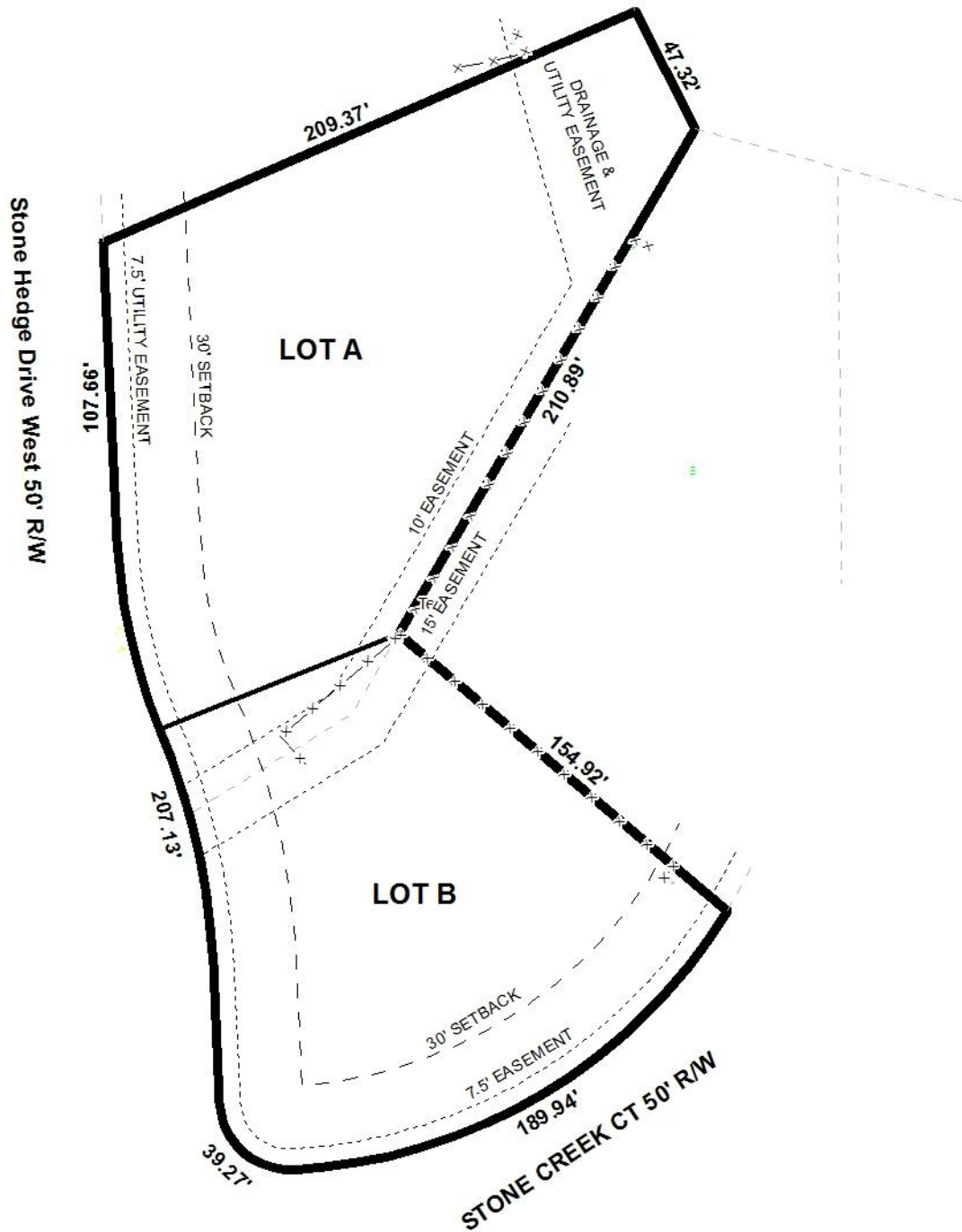
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# DETAIL SITE PLAN



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