

## **SOUTHERNWAY SUBDIVISION,**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has only water services available.

The plat illustrates the proposed 4 lot, 22.9  $\pm$  acre subdivision which is located on the West side of Sollie Road, 1960'  $\pm$  mile South of Raleigh Boulevard. The applicant states that the subdivision is served by public water and sanitary sewer systems.

The purpose of this application is to subdivide a legal lot into 4 lots. The legal lot was created as part of a two lot subdivision approved by the Planning Commission at its February 2, 1995 meeting.

The site fronts onto Sollie Road, a proposed major street. Dedication requirements were addressed when the lot was originally created, thus no additional dedication will be required.

As the proposal includes the creation of 4 lots, all of which will have frontage onto a proposed major street, access management is a concern. Lot A, which is developed, should be limited to its existing curb-cut. Lot B should be limited to two curb-cuts, while Lots C and D should be limited to one curb-cut each (it should be noted that there is a curb-cut immediately South of Lot D). The size, design and location of any curb-cuts should be approved by Mobile County Engineering, and comply with AASHTO standards.

Due to the limited frontage of Lot D onto Sollie Road, and due to its size of 12.6  $\pm$  acres, no future subdivision should be allowed until additional frontage onto a public or approved private street is provided. Furthermore, due to the unusual shape and depth of Lot D, Section V.D.1. of the Subdivision Regulations must be waived in order to allow the lot, as proposed.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

The 25-foot minimum building setback is shown on the plat and is labeled. The setback should also be depicted on the final plat. It should be noted that the existing lot has a 65-foot setback, however service roads are no longer required by the Major Street Plan component of the Comprehensive Plan, thus a 25-foot setback meets the minimum requirements.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the final plat.

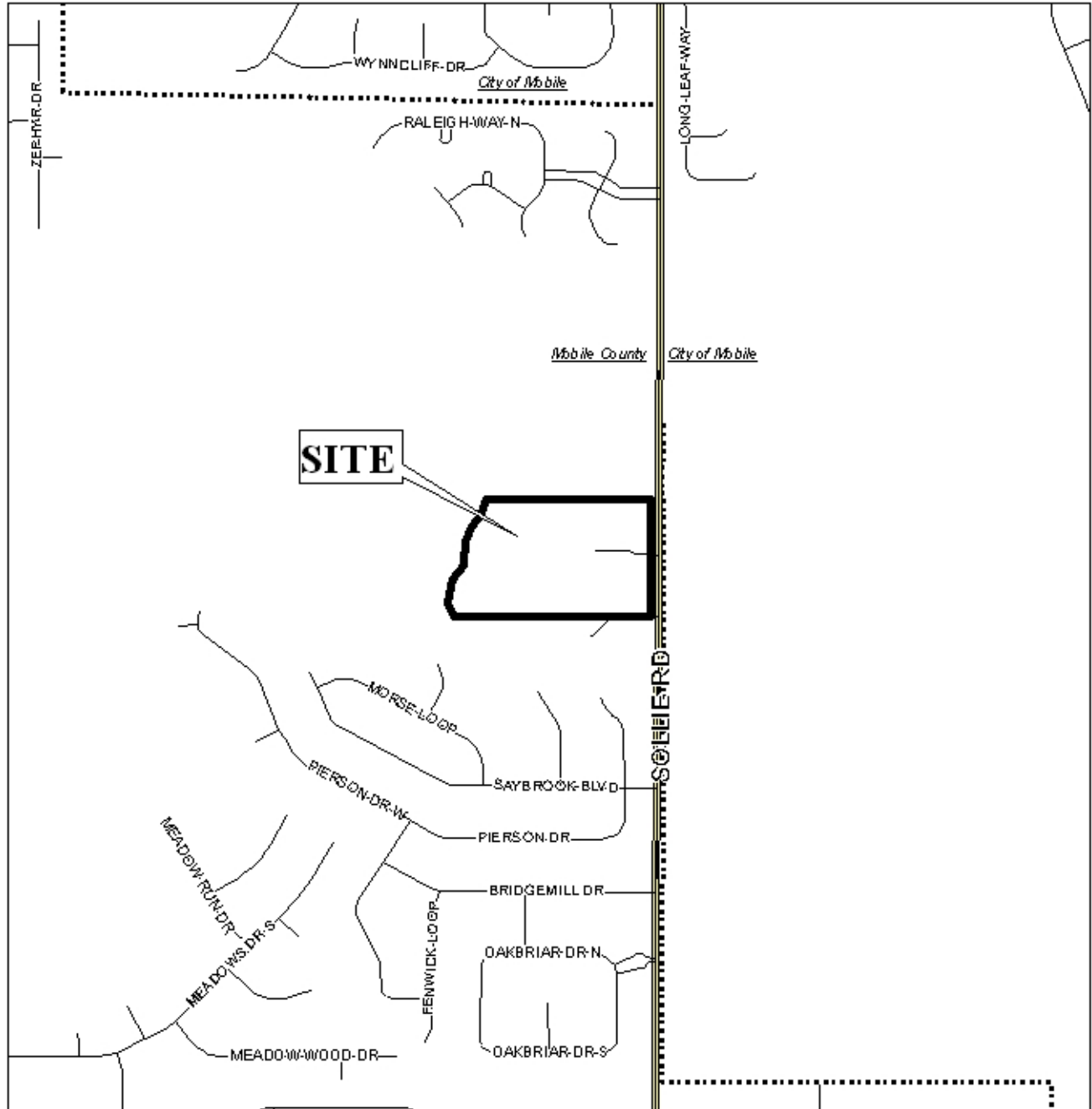
The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating this should appear on the final plat.

The lot size information on the preliminary plat should also be depicted in square feet, and should be shown on the final plat.

Based on the preceding, and with a waiver of Section V.D.1. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the final plat stating that Lot A is limited to its existing curb-cut, that Lot B is limited to two (2) curb-cuts, and that Lots C and D are limited to one (1) curb-cut each, with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 2) Placement of a note on the final plat stating that there shall be no future subdivision of Lot D until such time as additional frontage on a public or approved private street is provided;
- 3) Retaining of the 25-foot minimum building setback line and label on the plat;
- 4) Revision of the lot size information to also show it in square feet;
- 5) Placement of a note on the plat stating any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations
- 6) Placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, prior to the issuance of any permits or land disturbance activities; and
- 7) Placement of a note on the final plat stating that new development must be designed to comply with all storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, prior to the obtaining of permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

# LOCATOR MAP



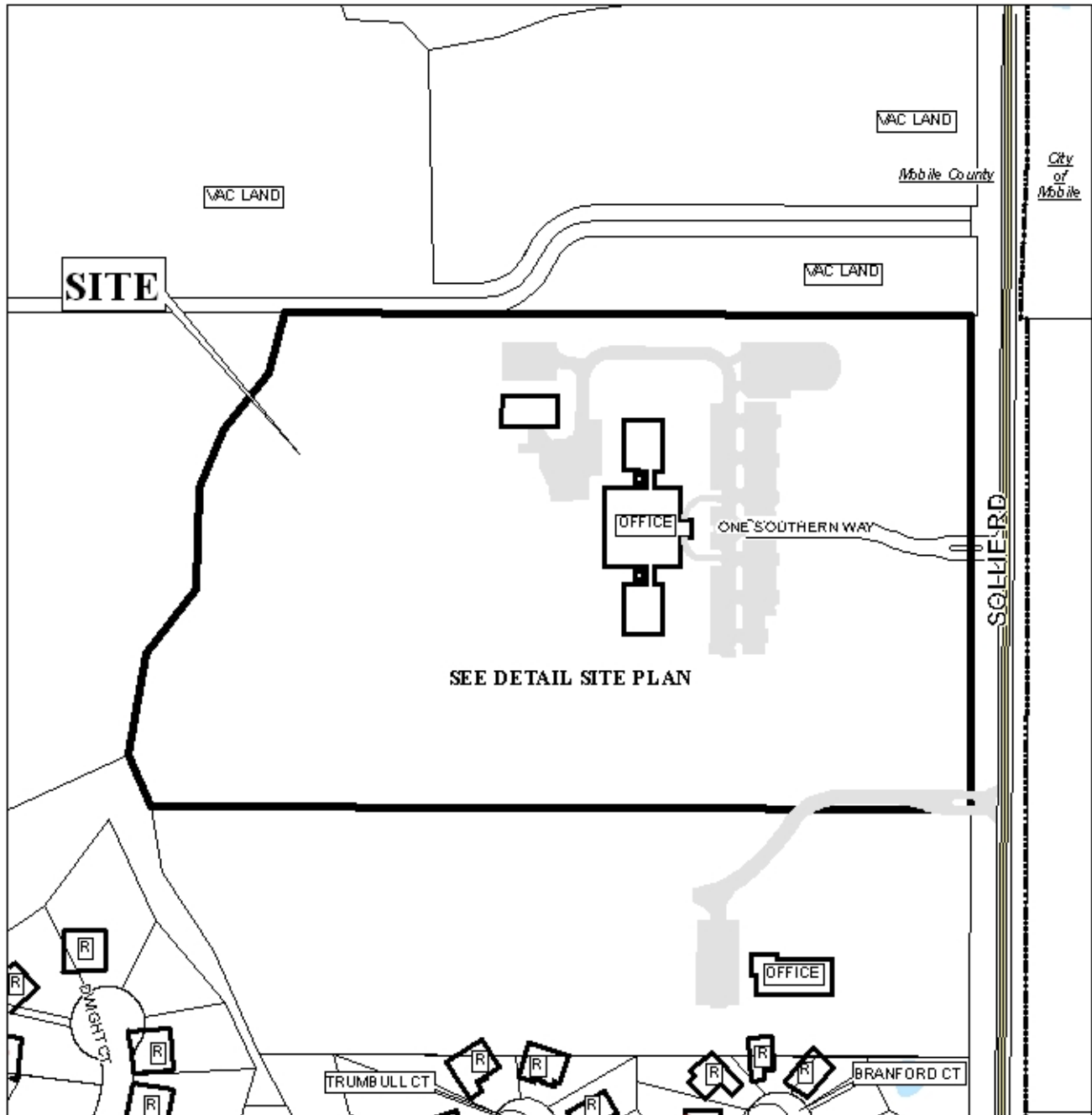
APPLICATION NUMBER 8 DATE March 17, 2011

APPLICANT Southernway Subdivision

REQUEST Subdivision



# SOUTHERNWAY SUBDIVISION



APPLICATION NUMBER 8 DATE March 17, 2011

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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NTS

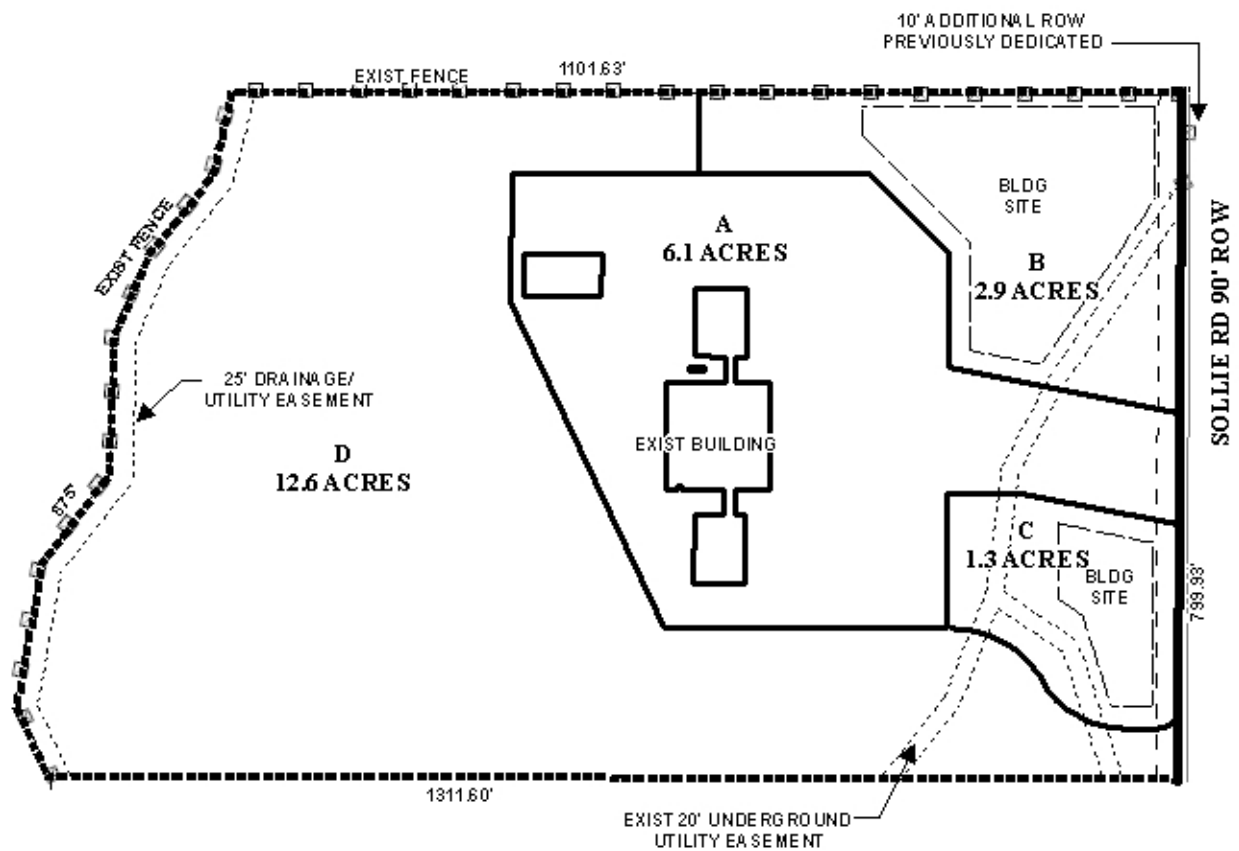
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## DETAIL SITE PLAN



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APPLICANT Southernway Subdivision

REQUEST Subdivision

