

**PLANNED UNIT DEVELOPMENT,  
SUBDIVISION & SIDEWALK WAIVER  
STAFF REPORT**

**Date: August 17, 2017**

<b><u>DEVELOPMENT NAME</u></b>	Shree Mahesh Subdivision
<b><u>SUBDIVISION NAME</u></b>	Shree Mahesh Subdivision
<b><u>LOCATION</u></b>	3650 Airport Boulevard and 600 West I-65 Service Road South (West side of West I-65 Service Road South, 250' ± North of Airport Boulevard Service Road.
<b><u>CITY COUNCIL DISTRICT</u></b>	District 5
<b><u>AREA OF PROPERTY</u></b>	2 Lots / 1.3 ± acres (Subdivision) 1 Lot / 9.39 ± acres (Planned Unit Development)
<b><u>CONTEMPLATED USE</u></b>	Planned Unit Development Approval to allow multiple buildings on a single building site, Subdivision Approval to create 2 legal lots, and a Sidewalk Waiver request to waive construction of a sidewalk along West I-65 Service Road South.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	None given.
<b><u>ENGINEERING COMMENTS</u></b>	

**Subdivision:**

**FINAL PLAT COMMENTS** (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Show and label the existing Parcel A and Parcel B on the plat.
- C. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. Coordinate with the City Engineering Dept. to establish the exact MFFE.
- D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

- E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- F. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- G. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- H. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- I. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.

**Planned Unit Development:****ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the ALDOT and from the City of Mobile Engineering Department (208-6070). All sidewalk work must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
- 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

**Sidewalk Waiver:** This is an ALDOT controlled ROW however it appears that there is sufficient room within the ROW, or within the property, for the construction of a sidewalk that could be approved through the ROW Permit process.

**TRAFFIC ENGINEERING****COMMENTS**

Site is limited to the existing curb cuts with any changes to size, design, or location to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Any future development of the included parcels may require a Traffic Impact Study.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

**MAWSS COMMENTS**

MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering Inc.

**REMARKS**

The applicant is requesting Planned Unit Development Approval to allow multiple buildings on a single building site, Subdivision Approval to create 2 legal lots of record from 3 metes-and-bounds parcels, and a Sidewalk Waiver request to waive construction of a sidewalk along West I-65 Service Road South. The site is located in Council District 5, and according to the applicant is served by public water and sanitary sewer.

The applicant is proposing to divide metes-and-bounds parcel and combine the remnant with two other parcels to create 2 legal lots of records. The proposed Lot 2 has exiting structures on the site and therefore requires a Planned Unit Development. The proposed Lot 1 has an existing building that will be remodeled and reopened as a motel.

The site has been given a District Center (DC) land use designation, per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies across the city to larger areas of existing mixed-use character or where such character is encouraged. These areas will include moderate to high-density residential (minimum densities of 6 du/ac) in dynamic, horizontal or vertical mixed use environments, to provide a balance of housing and employment.

District Centers generally serve several surrounding neighborhoods and may even have a city-wide or region-wide reach. As such, they are often anchored by a major commercial or institutional employer such as a shopping mall or a medical center.

Depending on location and assigned zoning, residential areas in District Centers may incorporate a mix of housing types, ranging from mid-rise multifamily buildings containing apartments and lofts, to townhouses and detached single-family homes. Major civic cultural institutions and public spaces provide regional and neighborhood destinations.

District Centers should be designed to induce pedestrian activity, with high quality streetscapes connecting the different components of a center as well as the center to its surrounding area. DC districts may be served by transit and include development of an intensity and design that supports transit use.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. It is very important to note that the PUD review is site plan specific; therefore any future changes to the overall site plan must be submitted for PUD review. It should be noted that PUD approvals expire in one year if no permits are obtained.

The proposed lots, as depicted, meet the minimum size and frontage requirements of the Subdivision Regulations. The lot area sizes are depicted on the plat in square feet and acres. The lot sizes should be retained in square feet and acres on the Final Plat, if approved. The PUD site plan does not depict the lot sizes in square feet and acres; thus a revision of the site plan to reflect this information is required.

The 25-foot minimum building setback line is not depicted on the preliminary plat or on the site plan. Both the plat and the site plan should be revised to depict the 25' minimum building setback line.

The site fronts the West I-65 Service Road South, part of the I-65 and Airport Boulevard interchange road network. Sufficient right-of-way exists for the service road, thus no dedication is required. The right-of-way is not identified on the site plan and is labeled as 880' + on the preliminary plat.

Both lots have existing curb-cuts to West I-65 Service Road South. Therefore, as a means of access management, the site should be limited to the existing curb-cuts, with the size, design and location to be approved by Traffic Engineering and ALDOT (as appropriate) and comply with AASHTO standards.

The applicant is not proposing any changes to the existing buildings on the proposed Lot 2. Based on the plans submitted all existing structures will remain as developed.

As the applicant only creates a legal lot for Lot 1, no review of the site plan was undertaken for Lot 1.

As for Lot 2, the Planning Commission typically requires frontage tree compliance for PUDs, if no new construction is proposed. Staff estimates 17 frontage trees will be required for Lot 2.

A dumpster is depicted on the site plan with a note stating the dumpster pad will be connected to sanitary sewer and enclosed. A site plan illustrating compliance with Section 64-4.D.9 of the Zoning Ordinance regarding new dumpsters will be required on any future site plans.

In regards to the Sidewalk Waiver request, the applicant does not give a detailed explanation for the sidewalk waiver request and why a sidewalk cannot be built on the property. While there does appear to be a drainage ditch in the right-of-way, a sidewalk can be constructed on private property.

The site is surrounded entirely by B-3, Community Business District developed as various offices, retail, and restaurants. While there are no existing sidewalks in the area, other sites will be required to install them as they are redeveloped.

The Mobile City Council adopted a "complete streets" policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities. A waiver of the sidewalk, as requested, will limit accessibility for pedestrians, transit riders and cyclists.

Furthermore, the construction of a sidewalk is feasible, and is keeping in line with the Map for Mobile and the Future Land Use Map District Center's vision for connectivity for the city.

## **RECOMMENDATION**

**Subdivision:** Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) retention of lot sizes in square feet and acres on the Final Plat;
- 2) revision to depict the 25' minimum building setback line along where the property lines abut road frontage;
- 3) retention of the right-of-way widths on the Final Plat;
- 4) placement of a note on the Final Plat stating that each lot is limited to the existing curb-cuts, with the size, design and location to be approved by Traffic Engineering and ALDOT (as appropriate) and comply with AASHTO standards;
- 5) compliance with Engineering comments: *"FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Show and label the existing Parcel A and Parcel B on the plat. C. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. Coordinate with the City Engineering Dept. to establish the exact MFFE. D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. F. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. G. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. H. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. I. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department."*;
- 6) compliance with Traffic Engineering comments: *"Site is limited to the existing curb cuts with any changes to size, design, or location to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Any future development of the included parcels may require a Traffic Impact Study."*;
- 7) compliance with Urban Forestry comments: *"Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64)."*

- 8) compliance with Fire comments: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).; and*
- 9) provision of a revised PUD site plan prior to the signing of the Final Plat.

**Planned Unit Development:** Based upon the preceding, this application is recommended for approval subject to the following:

- 1) revision of the site plan to depict the lot sizes in square feet and acres;
- 2) revision of the site plan to depict the 25' minimum building setback lines along where the property lines abut road frontage;
- 3) retention of the right-of-way widths on the site plan;
- 4) placement of a note on the site plan stating that the lot is limited to the existing curb-cuts, with the size, design and location to be approved by Traffic Engineering and ALDOT (as appropriate) and comply with AASHTO;
- 5) revision of the site plan to reflect frontage tree planting compliance and overall landscaping calculations;
- 6) compliance with Engineering comments: *“ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the ALDOT and from the City of Mobile Engineering Department (208-6070). All sidewalk work must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.”;*
- 7) compliance with Traffic Engineering comments: *“Site is limited to the existing curb cuts with any changes to size, design, or location to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance. Any future development of the included parcels may require a Traffic Impact Study.”;*
- 8) compliance with Urban Forestry comments: *“Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).”;*

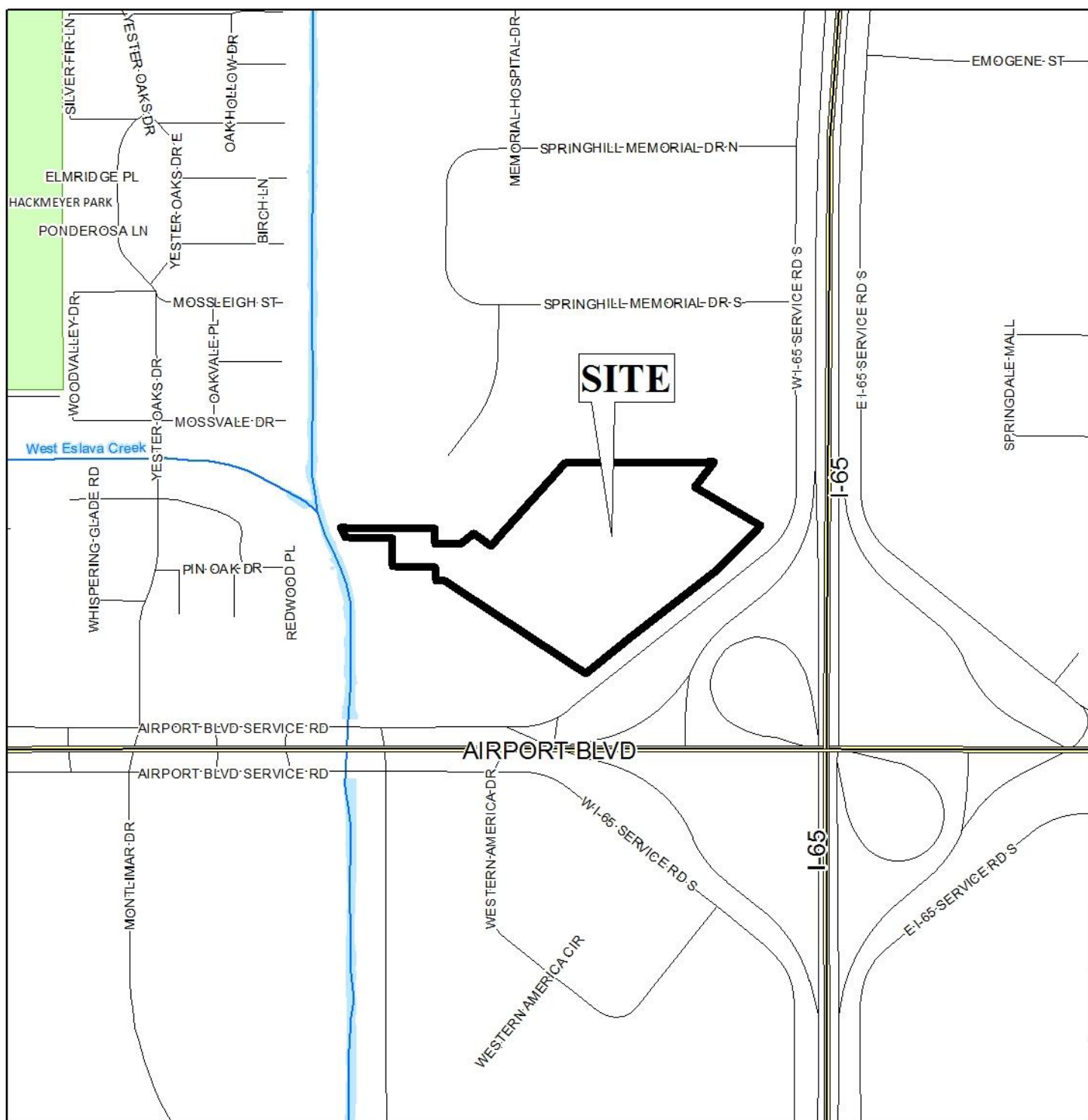
- 9) compliance with Fire comments: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).”*
- 10) submission of a revised PUD site plan prior to the signing of the Final Plat; and
- 11) full compliance with all other municipal codes and ordinances.

**Sidewalk Waiver:** Based upon the preceding, the application is recommended for Denial due to the following:

- 1) there is sufficient room along the property for the construction of a sidewalk.



# LOCATOR MAP



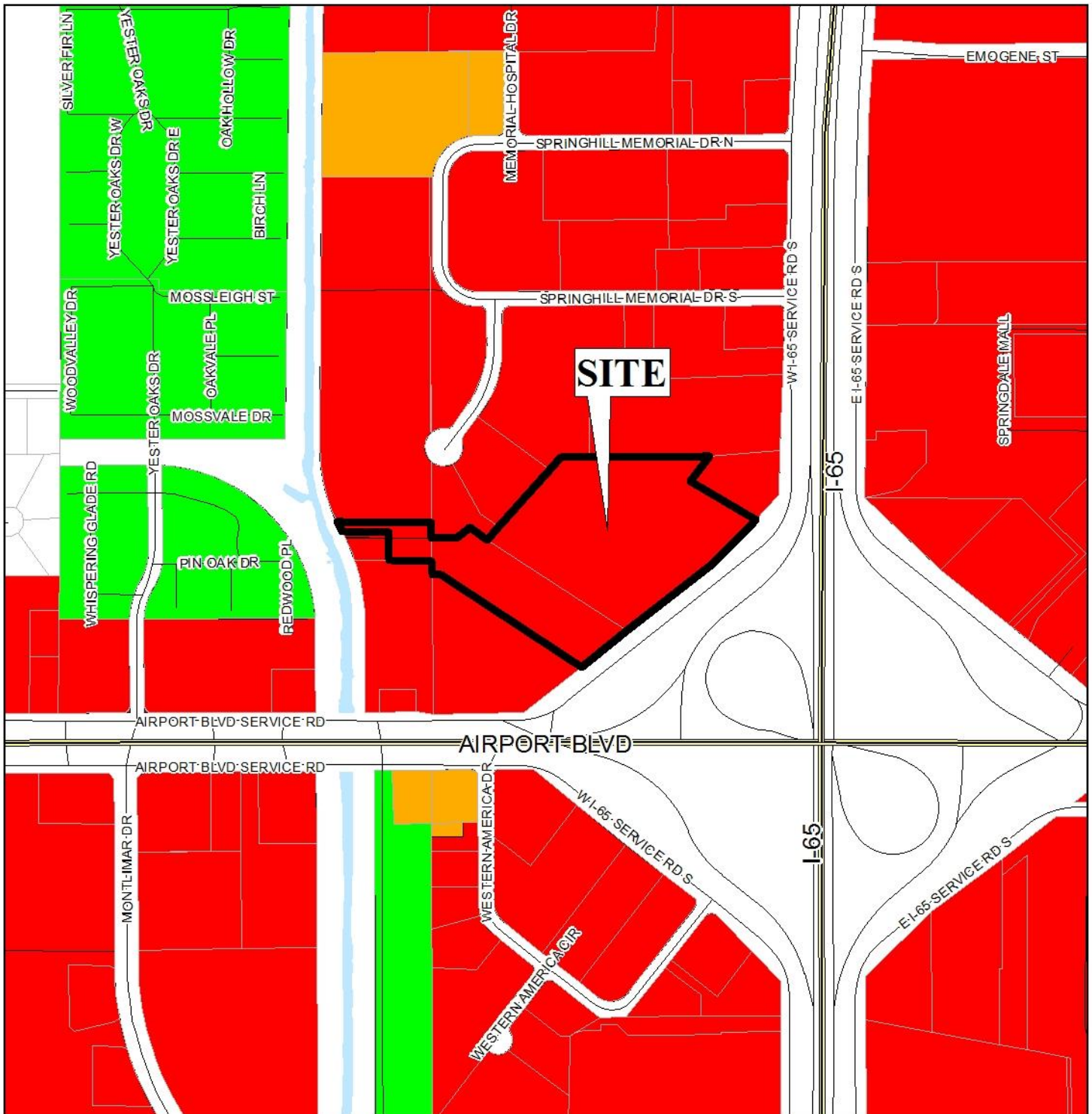
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APPLICANT Shree Mahesh Subdivision

REQUEST Subdivision, PUD, Sidewalk Waiver



# LOCATOR ZONING MAP



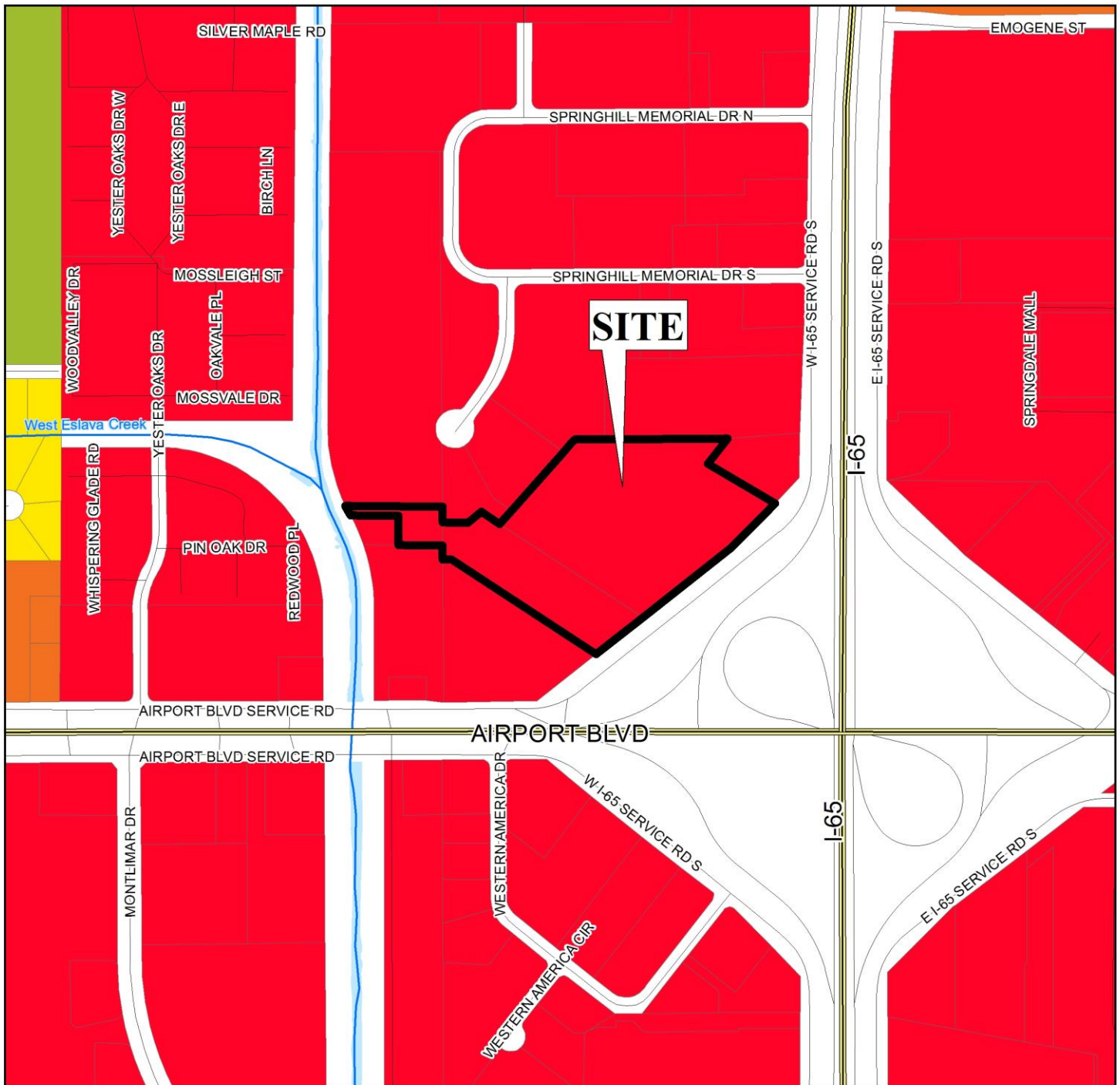
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APPLICANT Shree Mahesh Subdivision

REQUEST Subdivision, PUD, Sidewalk Waiver



# FLUM LOCATOR MAP



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APPLICANT Shree Mahesh Subdivision

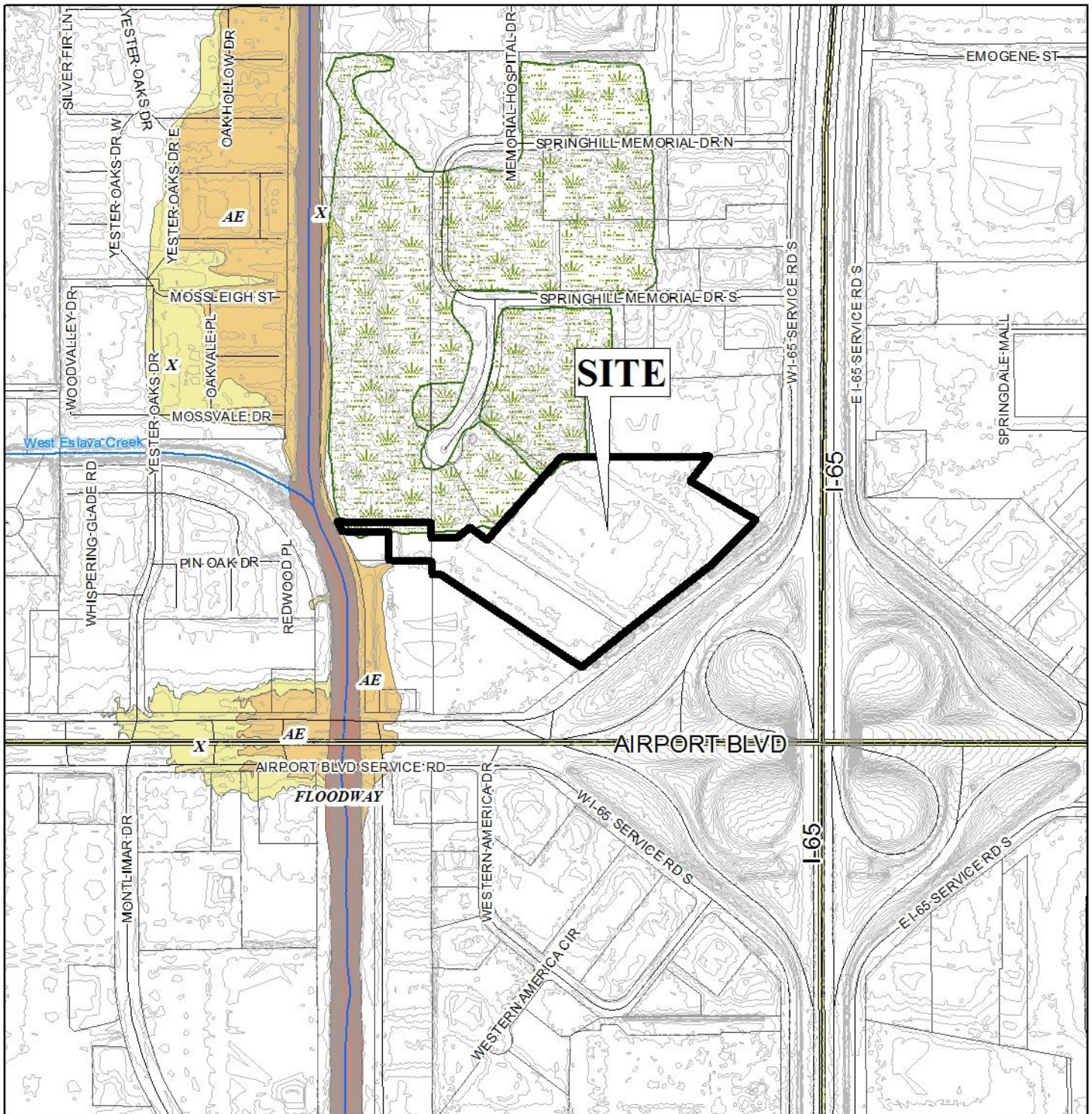
REQUEST Subdivision, PUD, Sidewalk Waiver

Low Density Residential	Neighborhood Center- Traditional	Downtown Waterfront	Water Dependent
Mixed Density Residential	Traditional Corridor	Light Industry	Parks & Open Space
Downtown	Neighborhood Center- Suburban	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	

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# ENVIRONMENTAL LOCATOR MAP



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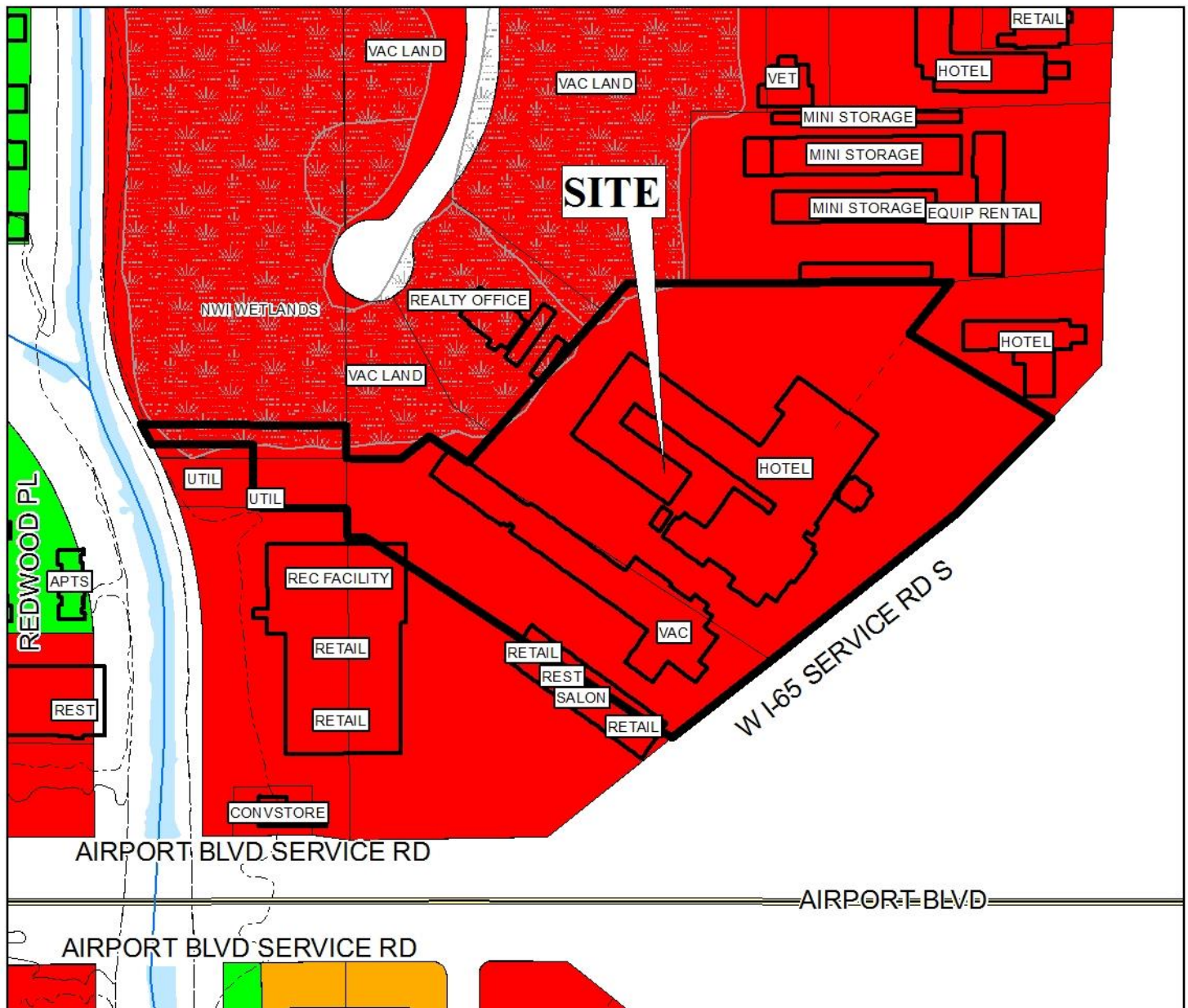
APPLICANT Shree Mahesh Subdivision

REQUEST Subdivision, PUD, Sidewalk Waiver





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

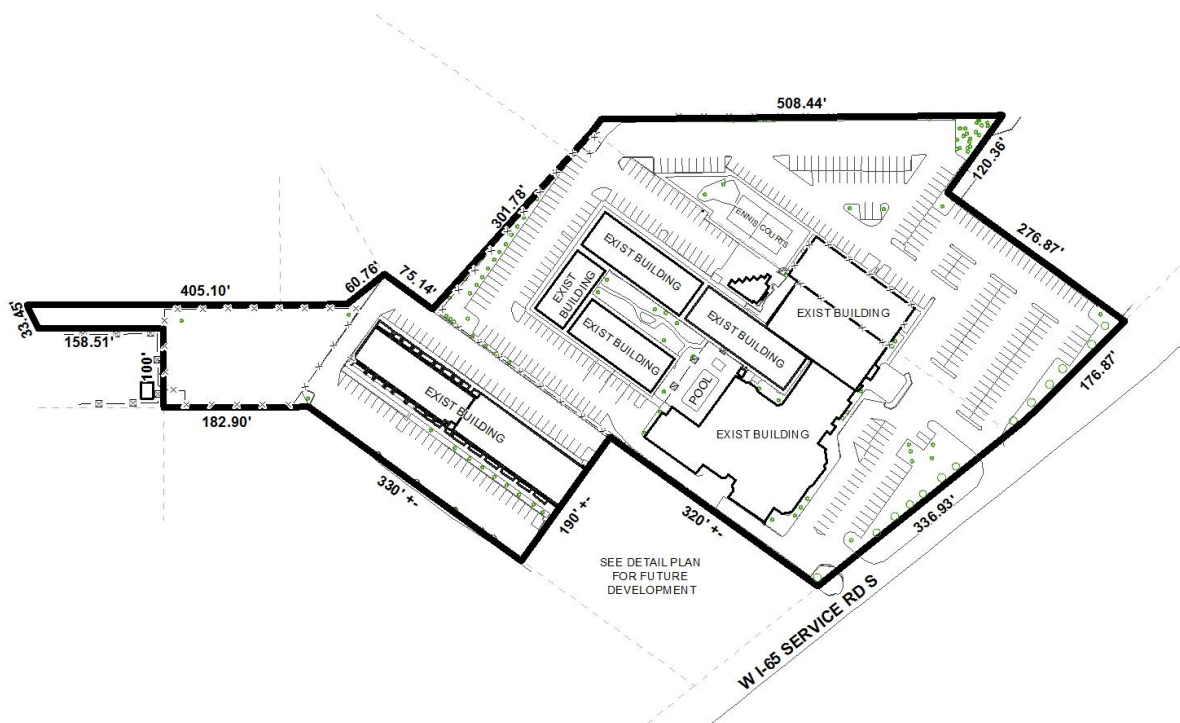


The site is surrounded by commercial units.

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SITE PLAN



The site plan illustrates the existing buildings, fences, and parking.

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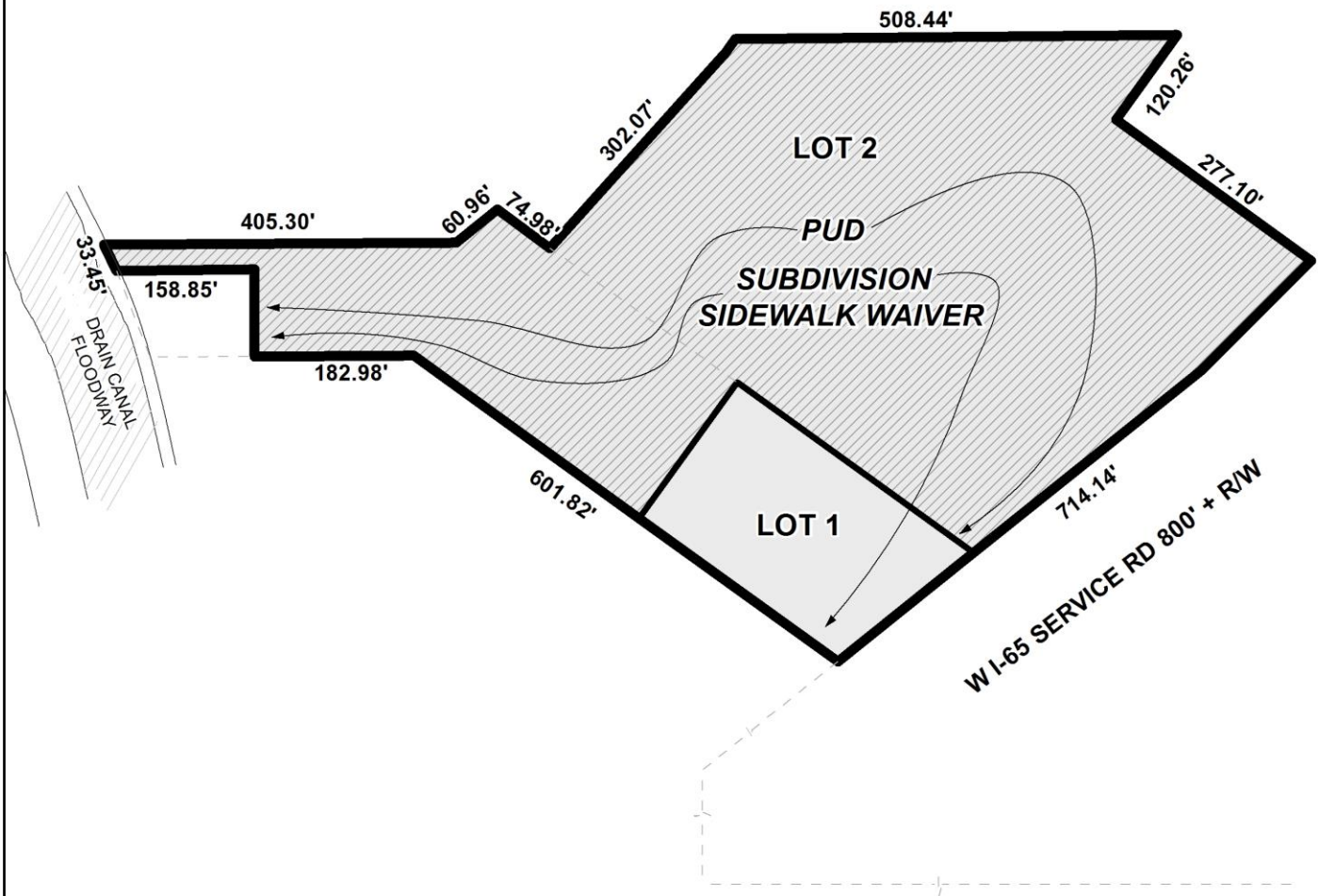
REQUEST Subdivision, PUD, Sidewalk Waiver



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# DETAIL SITE PLAN



APPLICATION NUMBER 8 DATE August 17, 2017

APPLICANT Shree Mahesh Subdivision

REQUEST Subdivision, PUD, Sidewalk Waiver



