

**SUBDIVISION & PLANNED UNIT  
DEVELOPMENT STAFF REPORT****Date: September 17, 2015****NAME**

Don Williams

**SUBDIVISION NAME**

Pinehurst Villa Subdivision, Revised Lot 59

**LOCATION**

(North terminus of Dickerson Avenue, 730'+ North of Chandler Street).

**CITY COUNCIL  
DISTRICT**

District 6

**PRESENT ZONING**

R-3, Multiple Family District.

**AREA OF PROPERTY**

0.7± Acre

**CONTEMPLATED USE**

Subdivision approval to resubdivide lot and vacate public right-of-way; and Planned Unit Development to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site and reduced side yard setbacks.

**TIME SCHEDULE  
FOR DEVELOPMENT**

One Year

**ENGINEERING****COMMENTS**

**Subdivision:** The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southwest corner of Riviere du Chien Road.
- D. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- E. Include the ROW Vacation recording information on the final plat.
- F. Show and label all flood zones.
- G. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- H. Show and label each and every Right-Of-Way and easement.

- I. Provide and label the monument set or found at each subdivision corner.
- J. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- K. Provide the Surveyor's Certificate and Signature.
- L. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- M. The area along the north and the west property lines is receiving drainage from a public street and will require a drainage easement; the width and alignment of the easement shall be coordinated with, and approved by, the City Engineer.
- N. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- O. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- P. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- Q. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- R. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

**Planned Unit Development:** 1. The existing drainage ditch along the north and west property lines will need to be shown (top of bank). 2. The applicant will need to provide a drainage easement for the existing drainage ditch that runs along the north and west property lines, and for the existing underground drainage system.

**ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

## **TRAFFIC ENGINEERING**

### **COMMENTS**

Site is limited to one curb cut to Dickenson Avenue, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Layout as shown, although non-standard, can be considered one-curb cut. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

## **REMARKS**

The applicant is requesting Planned Unit Development to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site and reduced side yard setbacks, and Subdivision approval to resubdivide a lot and vacate public right-of-way in an R-3, Multiple Family Residential District.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It is very important to note that the PUD reviews are site plan specific; therefore any future changes to the overall site plan must be submitted for PUD review. Additionally, if the site plan is changed from what is approved by the Planning Commission, a new application for PUD application will be required.

At the June 4, 2015 Planning Commission meeting, the subject site was approved to allow multiple buildings on a single site and to allow for reduced side yard setbacks. The applicant now desires to amend the previously approved Planned Unit Development in order to change the orientation and the size of both the proposed buildings and the parking area on the site. It should be noted that the number of buildings planned for the site still remains at four. Each building will be comprised of two residential living units. The revised site plan depicts the proposed square footage of each structure to be 2,160 square feet as opposed to the previously approved 1,900 square feet. The parking spaces in the proposed parking area have increased from 14 spaces to 18 spaces in order to coincide with the increased square footage of each building structure.

In addition to altering the orientation of the building structures and the parking area, the applicant is also requesting to reduce the previously approved minimum side yard setback from 16 feet to 10 feet along the unopened end of Dobbs Street as well as reducing the rear setback from 27 feet to 10 feet in order to accommodate the proposed site development. It should be noted that the applicant is in the process of requesting the vacation of public right-of-way along the unopened portions of both Dobbs Street and Dickenson Avenue.

The proposed development appears to be compliant as it relates to site coverage; however, the site plan should be revised to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance.

The 25' minimum building set back line is not clearly depicted on the site plan, and should be illustrated on the revised site plan, if approved. Also, the site plan should be revised to provide the lot size in square feet and acres.

The site plan illustrates that 18 parking spaces will be provided for the entire development in lieu of the 12 parking spaces required by the Zoning Ordinance. The site plan depicts a compliant number of parking spaces required for the site; however, no curbing or bumper stops are illustrated within the parking area. The site plan should be revised to indicate curbing or bumper stops within each parking space or provision of a note stating so. In addition to providing the required wheel stops and/or curbing for the parking spaces, the parking area must also provide lighting in compliance with Section 64-6.A.3 of the Zoning Ordinance.

The size and location of the mechanical equipment proposed for each residential unit must be depicted on the site plan and should ensure that it is compliant with Section 64-4.D.11 of the Zoning Ordinance.

The site plan illustrates that on site garbage collection will be served via a dumpster; however, the site plan should be revised to illustrate a connection to sanitary sewer in accordance with Section 64-4.D.9 of the Zoning Ordinance, or the placement of a note on the site plan indicating such.

The sidewalk is clearly depicted and labeled along the entrance to the property on Dickenson Avenue. If approved, the labeled side walk should be retained on the revised site plan. It should be noted that there do not appear to be any sidewalks along Dickenson Avenue.

As a means of access management, a note should be required on the revised site plan, if approved, stating that the PUD is limited to one curb cut to Dickenson Avenue, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Overall, the revisions to the previously approved PUD do not appear to impede on the integrity or character of the surrounding neighborhood; however, if the development is approved, the proposed project must be in compliance with all municipal codes and ordinances.

In addition to the reducing the side yard setbacks, the applicant also desires to expand the lot and via the vacation of public right-of-way along the unopened portions of both Dobbs Street and Dickenson Avenue.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The plat illustrates the proposed 1-lot subdivision which is sited on the North terminus of Dickenson Avenue, 730'+ North of Chandler Street within Council District 6. The applicant states that the subdivision is served by city water and sanitary sewer systems.

The site is located on Dickenson Avenue, a minor street with curb and gutter. The right-of-way width for Dickenson Avenue meets the minimum requirements as illustrated on the plat, and should be retained on the Final Plat, if approved.

The subject right-of-way along the unopened portion of Dickenson Avenue is 20 feet wide and approximately 138 feet along its centerline. Twenty feet of public right-of-way would be allocated to both Lots 58 and 59 each. Also, the subject right-of-way to be vacated along the unopened portion of Dobbs Street is also 20 feet wide and approximately 170 feet along its centerline.

It is important to note that the Vacation process must go through the Mobile City Council. Therefore, the Final Plat cannot be recorded until the Vacation process is complete.

If approved, the Final Plat should be revised to depict the 25 foot minimum building setback line along the property.

As a means of access management, a note should be placed on the Final Plat stating that the lot is limited to the one curb cut to Dickenson Avenue, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The site plan should be revised to provide the lot size in square feet and acres.

**RECOMMENDATION**

**Subdivision:** Based upon the preceding, this request is recommended for Tentative Approval, subject to the following conditions:

- 1) Completion of the Vacation Process prior to the signing of the Final Plat;
- 2) Retention of the right-of-way width for Dickenson Avenue;
- 3) Revision of the Final Plat to depict the 25 foot minimum building setback line;
- 4) Placement of a note on the Final Plat stating that the lot is limited to one curb cut to Dickenson Avenue, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) Revision of the Final Plat to illustrate the lot size in both square feet and acres;
- 6) Subject to the Engineering comments: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
  - A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
  - B. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
  - C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southwest corner of Riviere du Chien Road.
  - D. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
  - E. Include the ROW Vacation recording information on the final plat.
  - F. Show and label all flood zones.
  - G. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
  - H. Show and label each and every Right-Of-Way and easement.
  - I. Provide and label the monument set or found at each subdivision corner.
  - J. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
  - K. Provide the Surveyor's Certificate and Signature.
  - L. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
  - M. The area along the north and the west property lines is receiving drainage from a public street and will require a drainage easement; the width and alignment of the easement shall be coordinated with, and approved by, the City Engineer.
  - N. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
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  - Q. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
  - R. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);

- 7) Subject to the Traffic Engineering comments: *(Site is limited to one curb cut to Dickenson Avenue, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Layout as shown, although non-standard, can be considered one-curb cut. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 8) Subject to the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).];*
- 9) Subject to the Fire Department comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).]; and*
- 10) Submission and approval of two (2) copies of revised PUD site plans prior to signing the Final Plat.

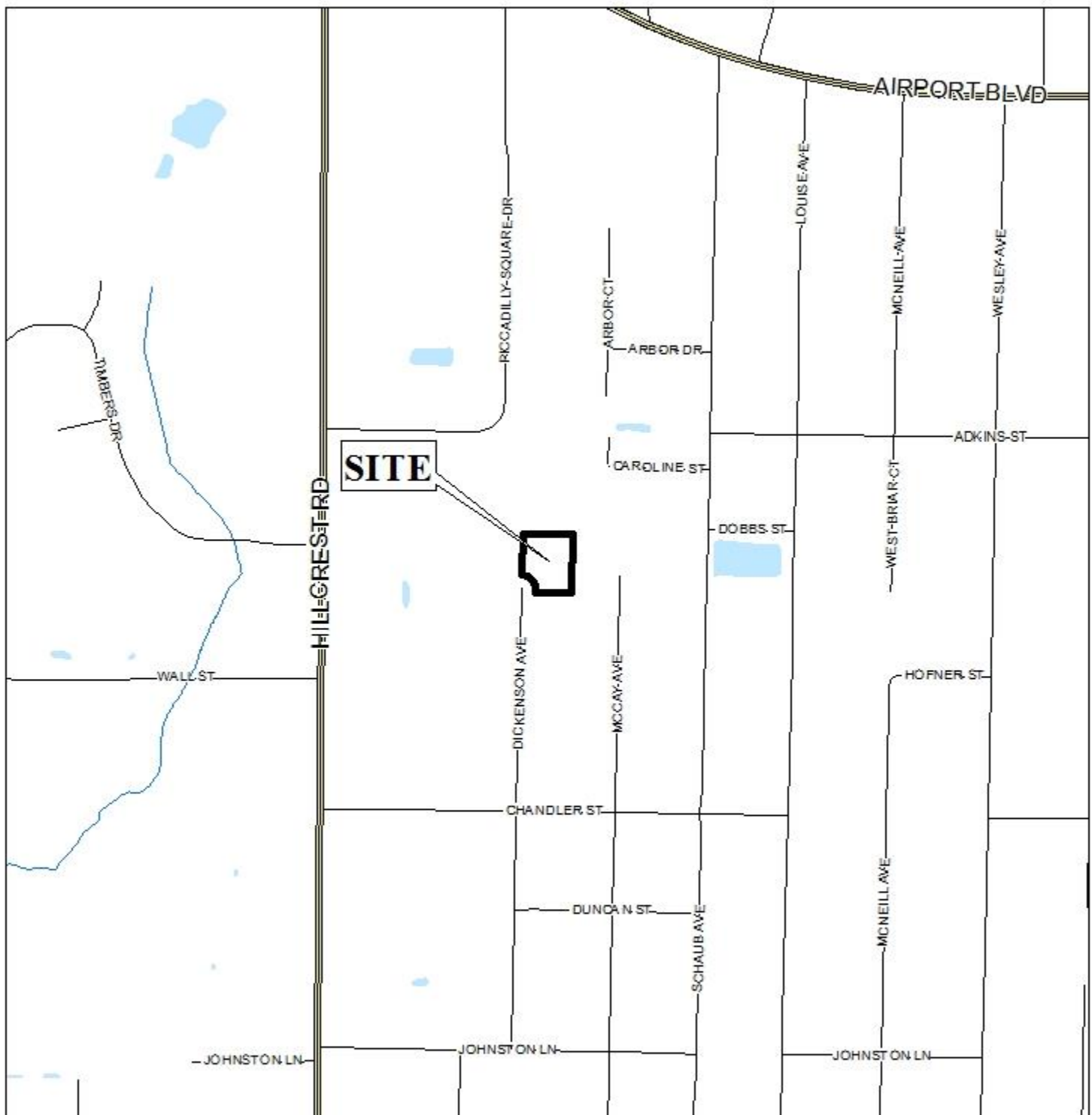
**Planned Unit Development:** Based upon the preceding, this request is recommended for Approval, subject to the following conditions:

- 1) Revision of the site plan to illustrate compliant landscaping, tree, and parking calculations as required by Section 64-4.E of the Zoning Ordinance;
- 2) Revision of the site plan to clearly illustrate the 25' minimum building set back;
- 3) Revision of the site plan to provide the lot size in square feet and acres;
- 4) Revision of the site plan to illustrate curbing or bumper stops within each parking space or provision of a note stating so;
- 5) Revision of the site plan to provide lighting within the parking area in compliance with Section 64-6.A.3 of the Zoning Ordinance.
- 6) Revision of the site plan to indicate the height and size of the HVAC mechanical equipment in compliance with Section 64-4.D.11 of the Zoning Ordinance;
- 7) Revision of the site plan illustrates that on site garbage collection will be served via a dumpster; however, the site plan should be revised to illustrate a connection to sanitary sewer in accordance with Section 64-4.D.9 of the Zoning Ordinance, or the placement of a note on the site plan indicating such. Retention of the sidewalk and labeling along the entrance to the proposed development along Dickenson Avenue;
- 8) Placement of a note on the revised site plan stating that as a means of access management, the PUD is limited to one curb cut to Dickenson Avenue, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 9) Subject to the Engineering comments: *[Planned Unit Development: 1. The existing drainage ditch along the north and west property lines will need to be shown (top of bank). 2. The applicant will need to provide a drainage easement for the existing drainage ditch that runs along the north and west property lines, and for the existing underground drainage system. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require*

*a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];*

- 10) Subject to the Traffic Engineering comments: *(Site is limited to one curb cut to Dickenson Avenue, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Layout as shown, although non-standard, can be considered one-curb cut. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.).;*
- 11) Subject to the Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).);*
- 12) Completion of the Vacation Process;
- 13) Submission and approval of two (2) copies of a revised site plan prior to signing the Final Plat; and
- 14) Full compliance with all municipal codes and ordinances.

# LOCATOR MAP



APPLICATION NUMBER 8 DATE September 17, 2015

APPLICANT Pinehurst Villa's Subdivision, Revised Lot 59

REQUEST Subdivision, Planned Unit Development



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the south and east, and a recreation facility to the northwest.

APPLICATION NUMBER 8 DATE September 17, 2015

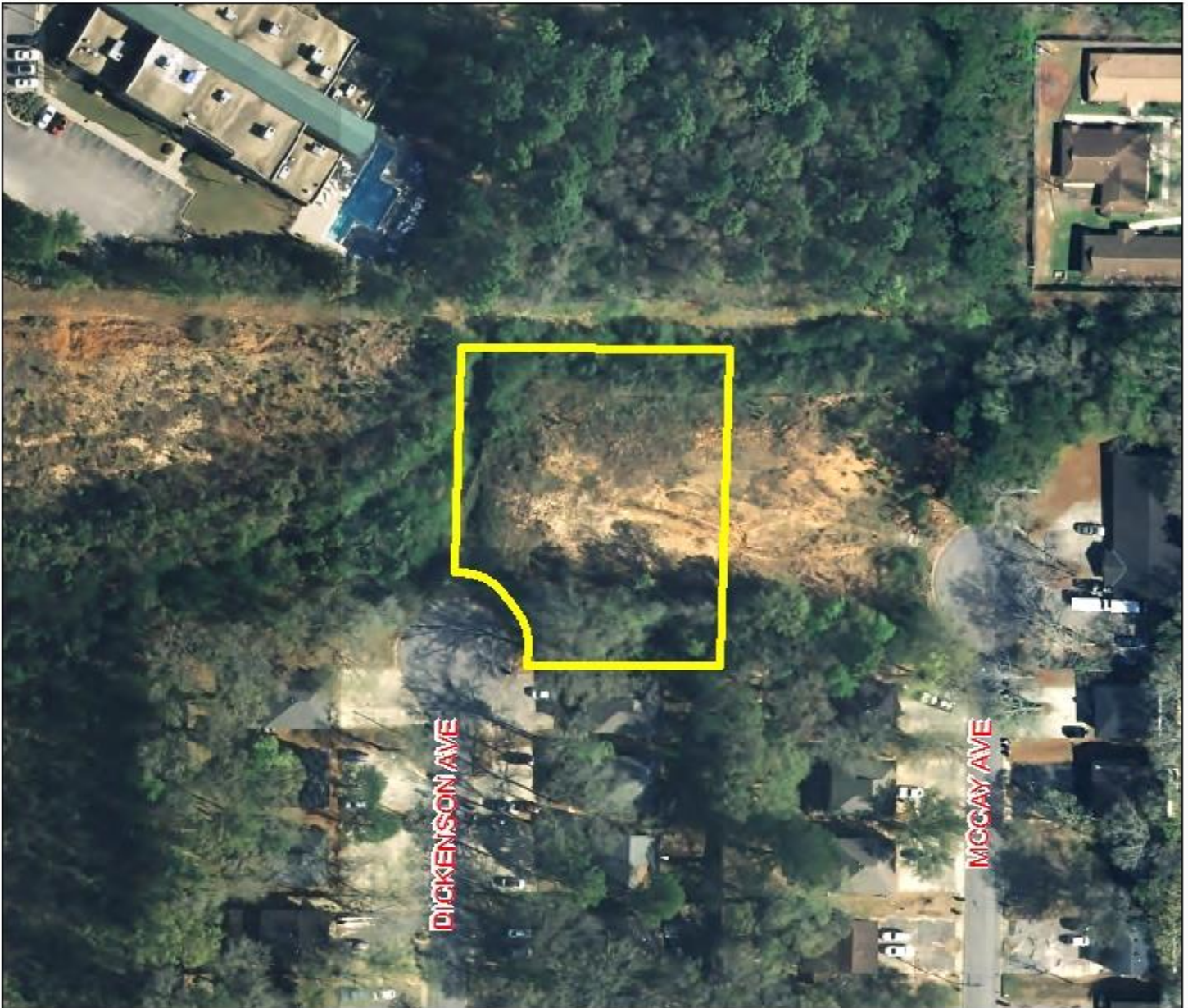
APPLICANT Pinehurst Villa's Subdivision, Revised Lot 59

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



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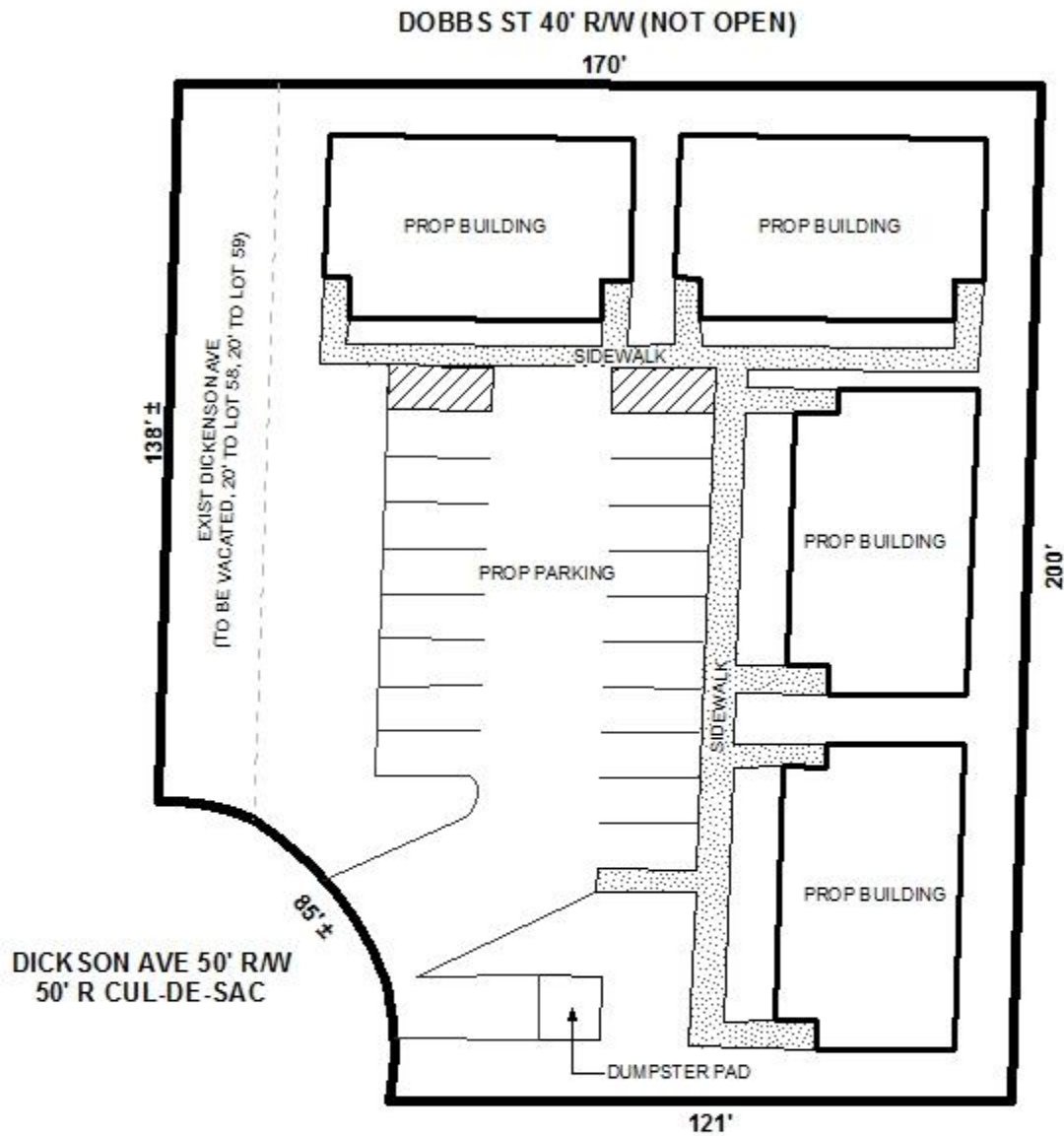
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# SITE PLAN



The site plan illustrates the proposed buildings, sidewalks, parking, and dumpster pad.

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REQUEST Subdivision, Planned Unit Development

