

## **PARKER ESTATES SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide distances showing the amount of ROW being dedicated along the north end of Dogwood Ln. and the east end of Stein St.
- B. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- C. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- D. Remove the note that references the Mobile County Engineering Dept. It is located above the MOBILE CITY PLANNING signature line.
- E. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- F. Provide and label the monument set or found at each subdivision corner.
- G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- I. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature.
- J. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

The plat illustrates the proposed 0.6± acre, 2-lot subdivision which is located on Northeast corner of Stein Avenue and Dogwood Lane, and is in Council District 7. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create two legal lots of record from a single metes-and-bounds parcel. The site was the subject of a subdivision application at the Planning Commission's March 3, 2005 meeting to create two lots, but it appears that the approval expired. It should be noted that at the time of the application in 2005, the site had a dwelling, which has since been removed from the site (by sometime in 2006) without the appropriate permits.

The site has frontage onto two streets: Stein Avenue and Dogwood Lane. Both streets are considered minor streets, and both have curb-and-gutter. As minor streets with curb-and-gutter, both Stein Avenue and Dogwood Lane should have right-of-ways of 50'. Stein Avenue is illustrated as having an existing right-of-way of 45' and Dogwood Lane is illustrated as having an existing right-of-way of 33', making dedications to provide 25' from the centerline of both roads necessary. Furthermore, dedication of the corner radii at Stein Avenue and Dogwood Lane per Section V.D.6. of the Subdivision Regulations should be required.

The 25-foot minimum building setback line, required in Section V.D.9., is shown on the preliminary plat, and should be retained on the Final Plat, if approved, revised to reflect any required dedication. The preliminary plat illustrates existing 7.5' drainage and utility easements as well as a 10' utility easement. These should remain on the Final Plat, if approved, along with a note stating that no structures are to be erected in any easement.

The proposed lot sizes are provided in square feet and acres, and would exceed the minimum required lot size in Section V.D.2. of the Subdivision Regulations. This information should be retained on the Final Plat, if approved.

The applicant requests that the proposed Lot 1 be allowed to maintain two existing curb cuts, one to Dogwood Lane and one to Stein Avenue; and that the proposed Lot 2 be allowed to maintain an existing curb cut to Stein Avenue. If approved, a note should be placed on the Final Plat, stating that each lot is limited to the existing curb cuts, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The preliminary plat and vicinity map submitted incorrectly label Stein Avenue as "Stein Street". If approved, the Final Plat should correctly identify Stein Avenue.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication to provide 25' from the centerline of Stein Avenue;
- 2) dedication to provide 25' from the centerline of Dogwood Lane;
- 3) dedication of the corner radii at Stein Avenue and Dogwood Lane per Section V.D.6. of the Subdivision Regulations;
- 4) revision of the 25' minimum building setback line to reflect dedication;
- 5) change the "Stein Street" to "Stein Avenue" on the Final plat and vicinity map;

- 6) placement of a note on the Final Plat stating that the site is limited to the existing curb cuts with any changes to the size, design or location of the curb-cuts to be coordinated with Traffic Engineering;
- 7) retention of the lot sizes in square feet and acres, or placement of a table on the plat with the same information, revised to reflect dedication;
- 8) compliance with Engineering comments, as applicable (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide distances showing the amount of ROW being dedicated along the north end of Dogwood Ln. and the east end of Stein St. B. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. C. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. Remove the note that references the Mobile County Engineering Dept. It is located above the MOBILE CITY PLANNING signature line. E. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. F. Provide and label the monument set or found at each subdivision corner. G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. I. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature. J. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);*
- 9) compliance with Traffic Engineering comments, as applicable (*Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 10) compliance with Urban Forestry comments, as applicable (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 11) compliance with Fire comments, as applicable (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.); and*
- 12) completion of the subdivision process prior to any request for permits for new construction.

# LOCATOR MAP



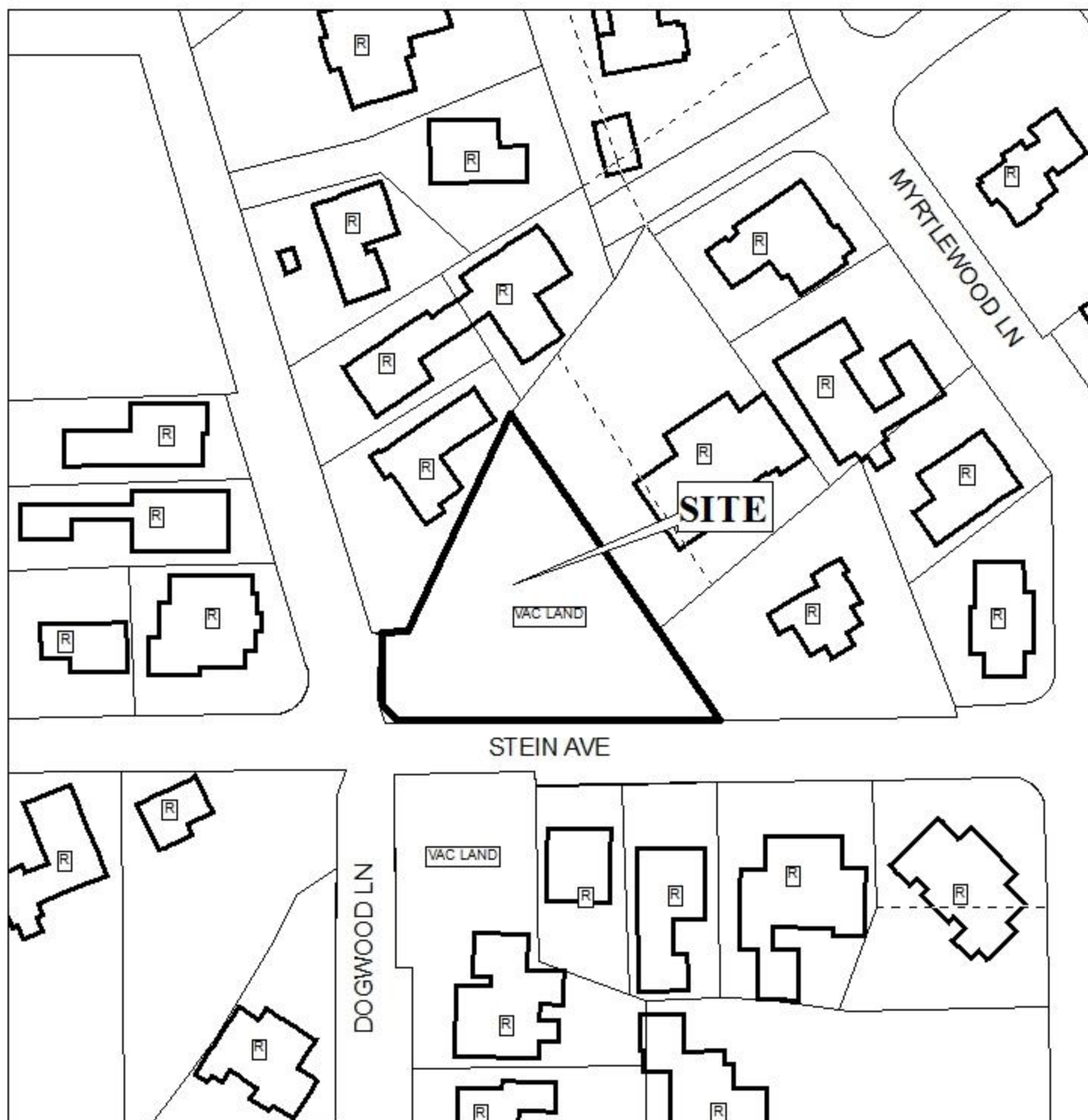
APPLICATION NUMBER 8 DATE May 21, 2015

APPLICANT Parker Estates Subdivision

REQUEST Subdivision



# PARKER ESTATES SUBDIVISION



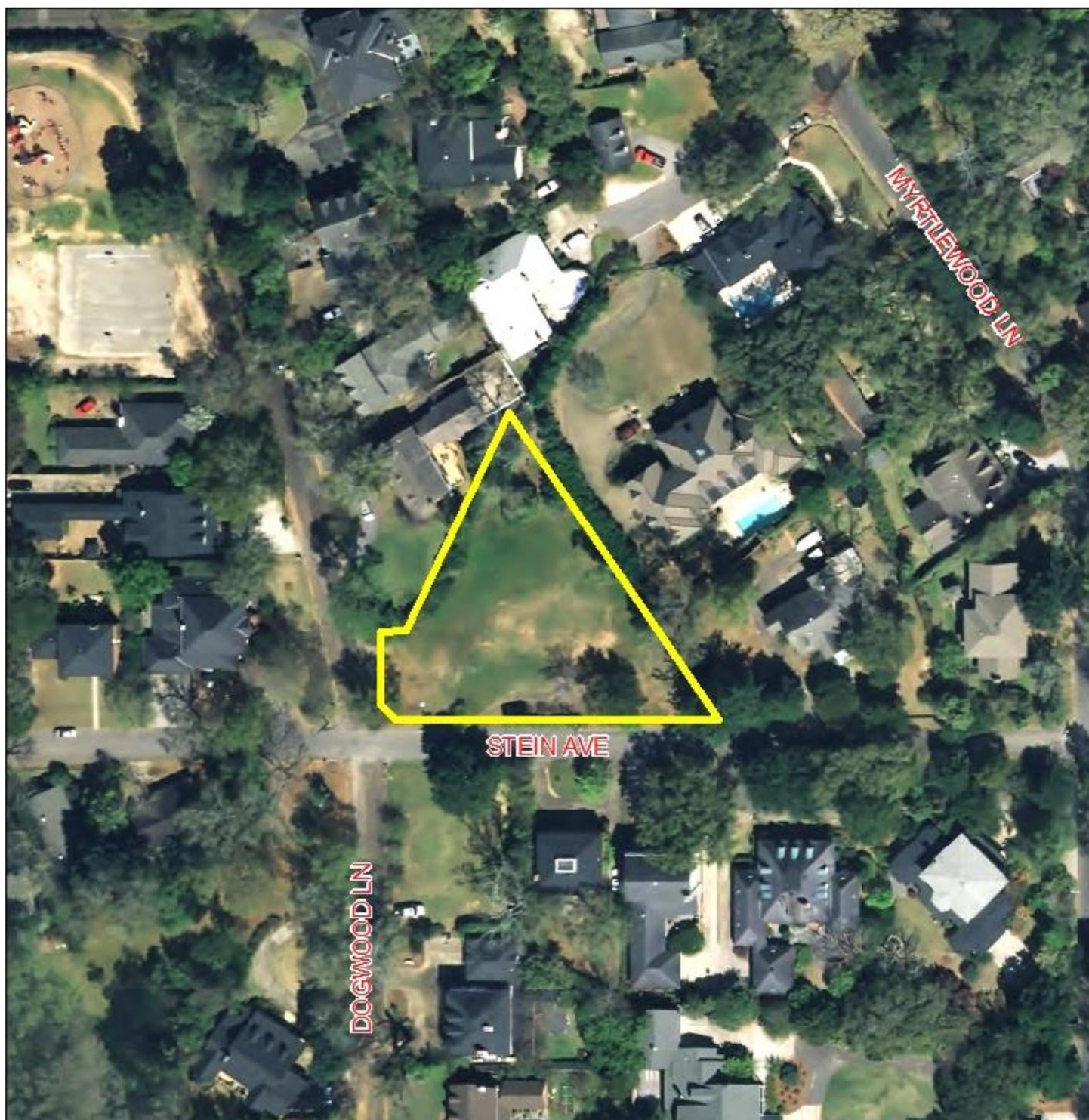
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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





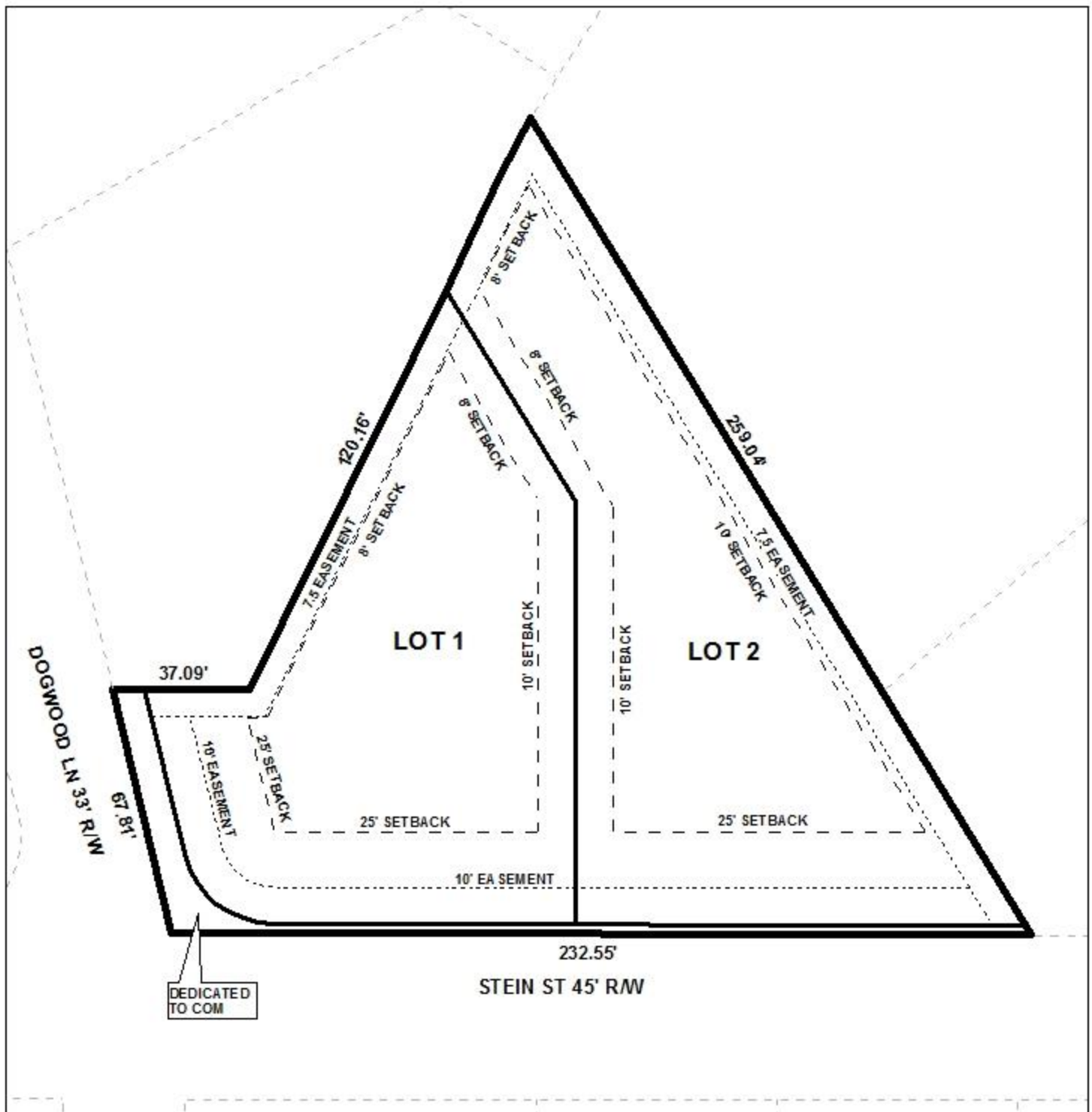
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# DETAIL SITE PLAN



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REQUEST Subdivision

