

OVERLOOK STATION SUBDIVISION

Engineering Comments: All storm water must tie to the City of Mobile storm drainage system. A hold harmless agreement or drainage easement is required to discharge onto an adjacent property. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: Compliance with the following sections of the 2003 International Fire Code: B105.1 Fire Flow Requirements; C103.1 Fire Hydrants Available; D103.4 Dead Ends.

The plat illustrates the proposed 17.7 ± acre, 62-lot subdivision which is located on the Southeast corner of Overlook Road and Howells Ferry Road extending West to Cody Road, and South to Victor Road, and is in Council District 7. The applicant states that the site is served by public water and sanitary sewer. It should be pointed out that the site is actually approximately 23 acres in size – the original application was not revised to reflect the expanded area.

The purpose of the application is to create 62 lots from three parcels. One of the proposed lots will accommodate an existing church and accessory uses, while the remainder of the site will be used for a single-family subdivision.

It should be pointed out that the site is split-zoned, with approximately 5 acres of it zoned B-2, Neighborhood Business, and the remainder R-1, Single-Family Residential. The split-zoning condition must be corrected prior to the recording of the final plat, thus an application for rezoning will be required. Regarding the rezoning, it should be pointed out that a church requires Planning Approval in order to be located in an R-1 district, thus the applicant may want to consider rezoning the church site to allow the church to continue “by right,” which would require a minimum of a B-1, Buffer Business district. It should also be noted that rezoning may require that the site be brought into compliance with the tree and landscaping requirements of the Zoning Ordinance, thus two separate rezoning applications are advisable, one for the residential development, and one for the church. It also appears that an application for Planned Unit Development will be required for the church site due to the multiple structures on a single building site.

The site fronts Cody Road, Overlook Road and Victor Road. Cody Road is a proposed major street with an 80-foot right-of-way, which is less than the 100-foot right-of-way recommended in the Major Street Plan component of the Comprehensive Plan. Overlook and Victor Roads are minor streets. The plat shows dedication of right-of-way for Cody Road to meet the minimum requirements, and that the existing rights-of-way for Victor and Overlook Roads are adequate.

The 25-foot minimum building setback line, which is depicted on the plat, should be adjusted to reflect right-of-way dedication along Cody Road. The minimum building setback line should also be depicted along the rear of the lots with frontage on Victor Road.

Access management is a concern due to the site's frontage onto three streets. Lots 2 through 61, which have frontage onto new streets proposed as part of the subdivision, should be denied access to Cody Road, Victor Road and Overlook Road. Lot 1 should be allowed two curb-cuts onto Cody Road, with one of the curb-cuts exclusively for the drainage and utility easement that leads to the detention area for the subdivision. Lot 62, which will contain the existing church, should be limited to a maximum of three curb-cuts. The size, design and location of all curb-cuts are to be approved by Traffic Engineering and conform to AASHTO standards.

The site involves the creation of new streets. Because the site adjoins an approved subdivision to the East, a street-stub should be provided in the vicinity of Lots 23 and 24 in order to connect with the approved Overlook Place subdivision.

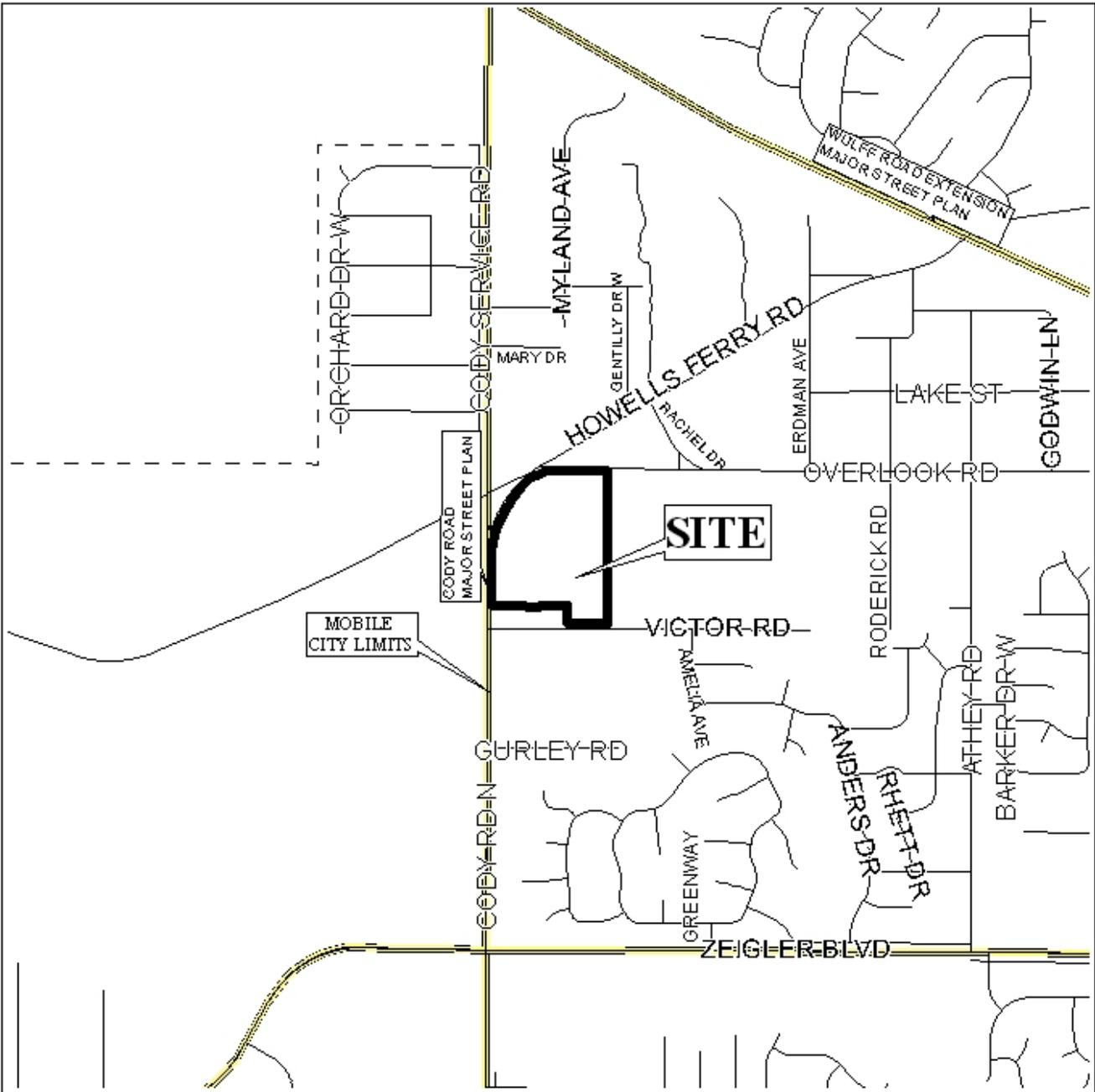
All lots appear to meet the minimum size requirements of the Subdivision Regulations, however, the plat should be revised to label each lot with its size in square feet, or a table should be provided on the plat with the same information.

The detention area and any other common areas should be labeled as common areas, and a note should be placed on the final plat, if approved, stating that maintenance of the common areas is the responsibility of the property owners.

Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) submission of applications (one for the residential portion of the site and one for the church portion of the site are recommended) to remove the split-zoning condition for the site, and the applications necessary to allow the church to operate on Lot 62 (Planning Approval, if rezoned to residential, and Planned Unit Development for multiple buildings on a single building site), prior to the signing of the final plat;
- 2) placement of a note on the final plat stating that Lot 1 is limited to two curb-cuts onto Cody Road, with one curb-cut dedicated to the drainage and utility easement, that Lot 62 is limited to three curb-cuts onto Overlook Road, and that Lots 2-61 are denied access to Cody, Victor and Overlook Roads, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) revision of the plat to provide a street stub in the vicinity of Lots 23 and 24 to the approved Overlook Place subdivision to the East;
- 4) revision of the plat to label each lot with its size in square feet, or provision of a table on the plat with the same information;
- 5) revision of the plat to label all common areas, including the detention area, and the placement of a note on the plat stating that the maintenance of common areas is the responsibility of property owners; and
- 6) full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 8 DATE May 3, 2007

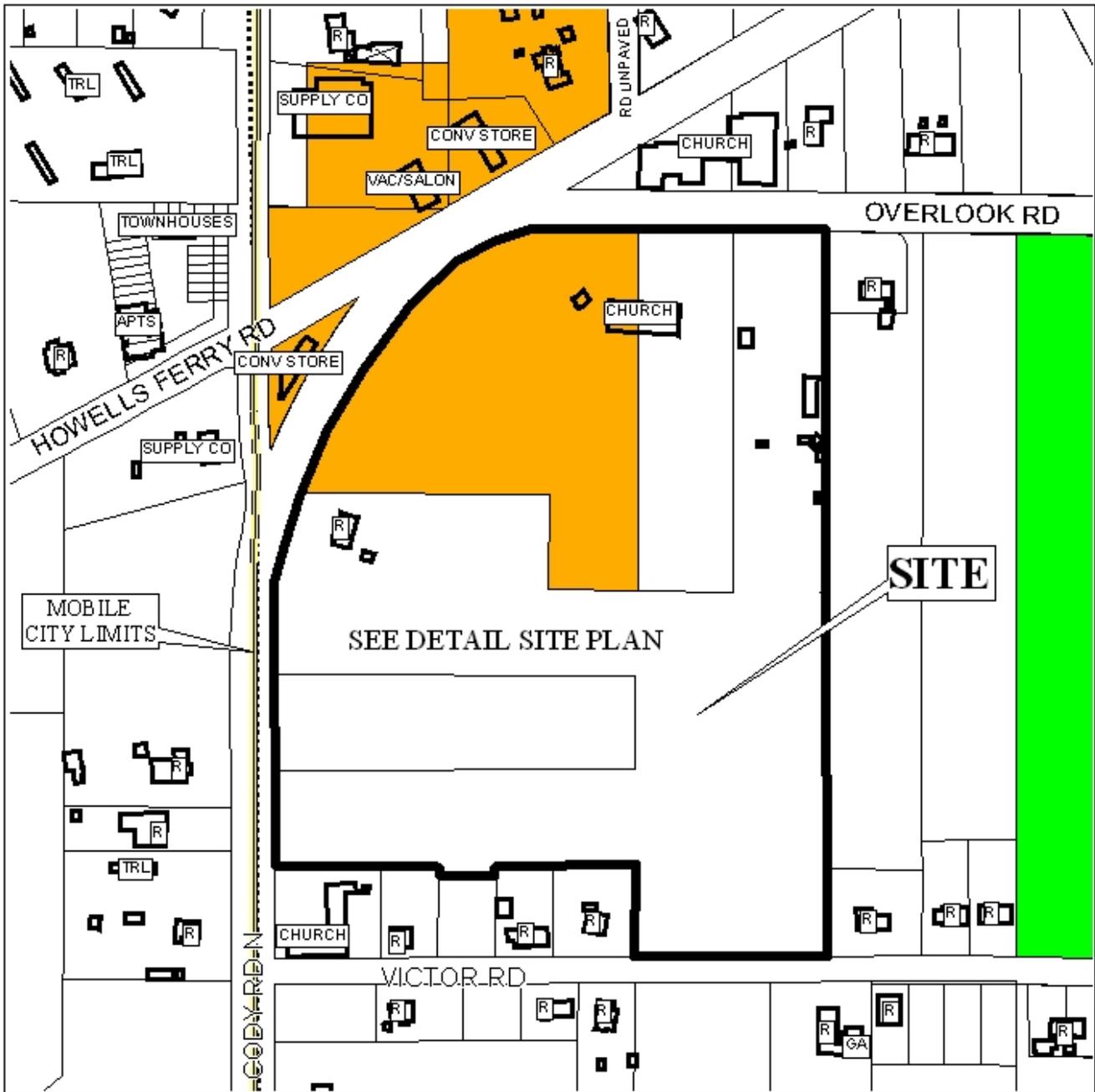
APPLICANT Overlook Station Subdivision

REQUEST Subdivision



NTS

OVERLOOK STATION SUBDIVISION



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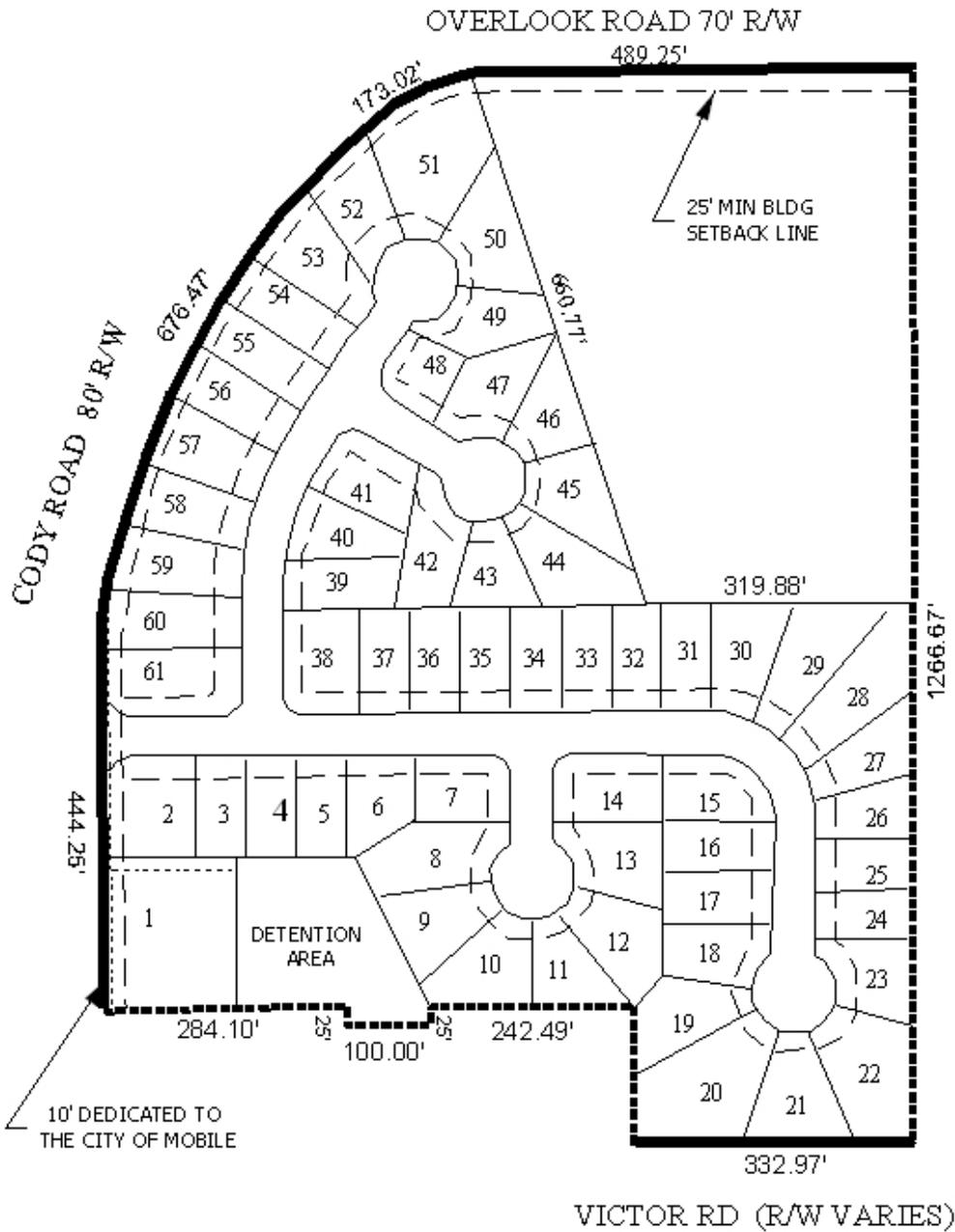
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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DETAIL SITE PLAN



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 APPLICANT Overlook Station Subdivision
 REQUEST Subdivision



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