

## **OAKSTONE SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. Turnaround must be compliant with Appendix D of the International Fire Code.

MAWWS Comments: TBD.

The plat illustrates the proposed 11-lot, 32.7± acre subdivision, which is located on the Southeast corner of Lancaster Road and Laurendine Road., and is located within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems.

The purpose of this application is to create 11 legal lots of record from an existing metes and bounds parcel.

The original preliminary plat was approved in May 2005 as a 49-lot subdivision and resubmitted in April 2006 as a 57-lot subdivision; however, both approvals expired. This application is a new preliminary plat of the previously referenced subdivisions, increasing the square footage of several lots (three are flag-shaped lots); thereby reducing the previously approved subdivision from 57 lots to 11 lots, to what seems to be more of a residential and commercial/industrial subdivision versus a residential subdivision as previously submitted. Since the site is located within the Planning Jurisdiction and not subject to the Zoning Ordinance, the use of the proposed lots are not an issue; however, would be addressed with buffer conditions of Section V.A.8. of the Subdivision Regulations.

The site fronts Lancaster Road and Laurendine Road. Lancaster Road is a minor street; the existing right-of-way meets the minimum width standards for minor streets. Laurendine Road, with an existing right-of-way of 80 feet, is a proposed major street, and as such, its right-of-way should be 100-feet according to the Major Street Plan. Therefore, the dedication of an additional 10-feet, (50-feet from the centerline of Laurendine Road) which is depicted on the preliminary plat, should be required along the site's Laurendine Road frontage as well as sufficient radius at the intersection of Lancaster Road and Laurendine Road, with the approval of Mobile County Engineering and in conformance to AASHTO standards.

As Laurendine Road is a proposed major street, access management is a concern. The subdivision, as currently designed, depicts lots 1, 2 and 11 as having frontage on Laurendine Road. Lot 11 also fronts Lancaster Road, thus it should be restricted to having access only onto Lancaster Road in order to prevent an additional curb cut onto Laurendine Road, due to its designation as a Major Street. Due to their frontage on Laurendine Road; lots 1 and 2 should be

allowed a total of three curb cuts to Laurendine Road with both lots sharing a common curb cut at their common property line and lot 1 should be allowed two separate curb cuts onto Laurendine Road, with the size, design, and location of all proposed curb cuts onto Laurendine Road, to be approved by the Mobile County Engineering Department and conform to AASHTO standards. Lots 3-10 provide frontage along Lancaster Road; therefore, each lot should be limited to one curb cut each to Lancaster Road, with the size, design and location, be approved by Mobile County Engineering and conform to AASHTO standards.

The preliminary plat illustrates all lots except Lot 11 road frontage on Laurendine Road as 40-feet. The minimum building setback as referenced in Section V.D.9. of the Subdivision Regulations of the Subdivision Regulations is 25-feet. It should be noted that the setback line on all flag lots should be illustrated on the Final Plat from the end of the pole.

Lots 1 and 5-11 far exceed the 15,000 square feet required by Section V.D.2. of the Subdivision Regulations for individual septic systems. Lots 2-4 are flag-shaped lots with 25-foot road frontage; however, it would be appropriate to waive Section V.D.1. of the Subdivision Regulations, due to several subdivisions within the immediate area have been approved with flag-shaped lots.

The eastern portion of the site appears to be within the FEMA designated "100-year" floodplain of Muddy Creek, and wetlands associated with the creek may occur on a portion of the site. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or commencement of any land disturbing. It should also be noted that detention ponds cannot be located within the 100-year floodplain; therefore, the applicant should consult the Mobile County Engineering staff to ensure that the detention pond is appropriately located.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating "*Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.*" should be placed on the Final Plat.

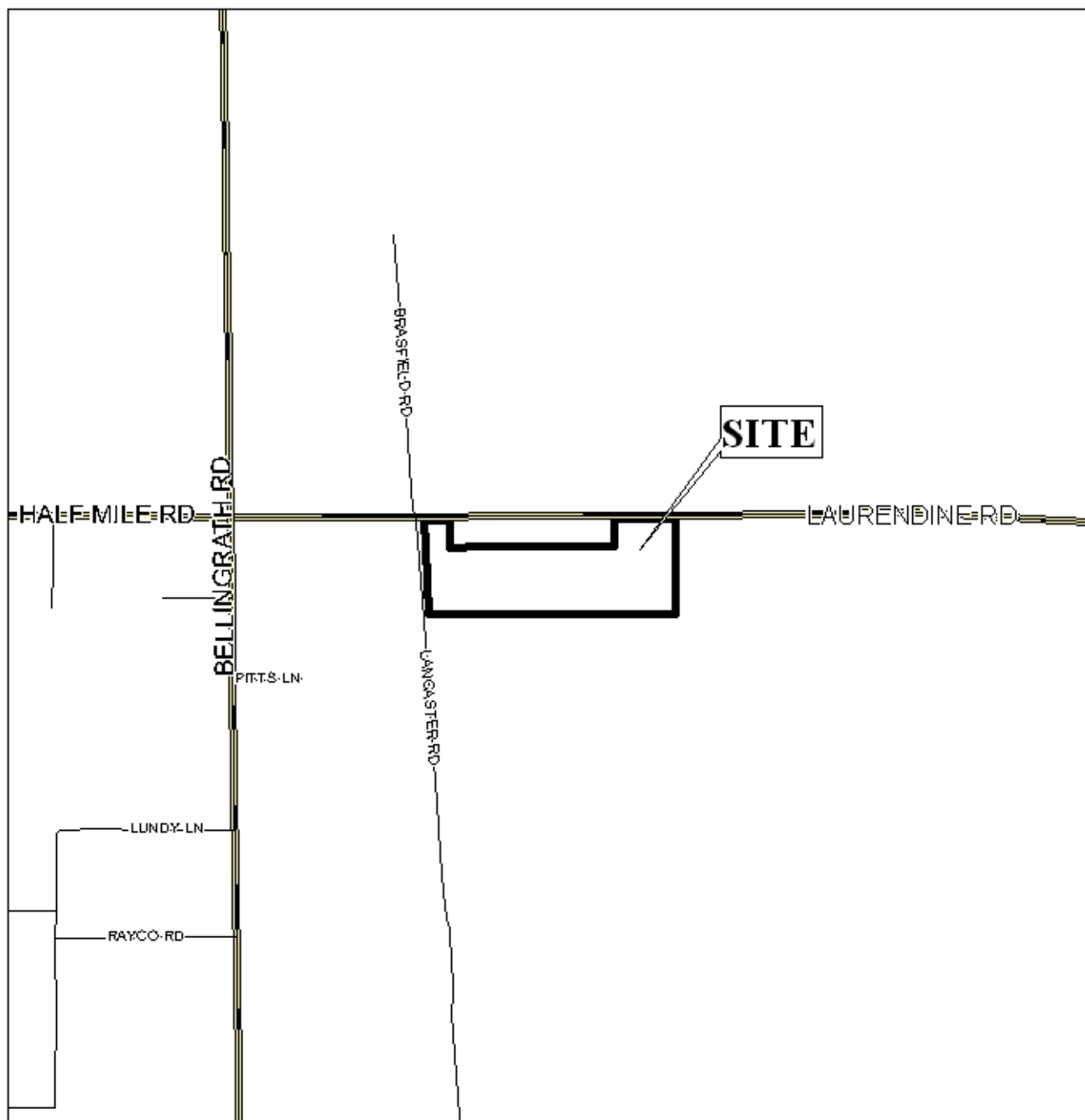
The site may contain federally listed endangered or threatened species, such as the gopher tortoise, or protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected flora and fauna.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

With a waiver of Section V.D.1, the preliminary plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions:

- 1) dedication of sufficient right-of-way to provide 50-feet from the centerline of Laurendine Road;
- 2) dedication of sufficient right-of-way radius at the southeast quadrant of the Laurendine Road/Lancaster Road intersection, with the size and design to be approved by County Engineering and conform to AASHTO standards;
- 3) the approval of all applicable federal, state and local agencies for wetlands prior to the issuance of any permits or land disturbance activities;
- 4) certification via placement of a note on the Final Plat stating that the property owner/developer will comply with all local, state and federal regulations regarding endangered, threatened or otherwise protected flora and fauna;
- 5) the placement of a note on the Final Plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of a letter from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the signing of the final plat. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 6) the placement of a note on the Final Plat stating that Lots 1 and 2 be allowed a total of three curb cuts to Laurendine Road with one being a shared common curb cut at the interior property line of the two lots, with the size, design and location to be approved by Mobile County Engineering Department and conform to AASHTO standards;
- 7) the placement of a note on the Final Plat stating that Lot 11, is denied access to Laurendine Road and limited to one curb cut to Lancaster Road, with the size, design and location to be approved by County Engineering and conform to AASHTO standards;
- 8) the placement of a note on the Final Plat stating Lots 3-10 are allowed one curb cut each to Lancaster Road, with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 9) retention of the labeling of the lots with its size in square feet/acres, or placement of a table on the plat with the same information;
- 10) the placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations; and
- 11) placement of a note on the plat stating that maintenance of the detention and common areas is the responsibility of the subdivision's property owners.

## LOCATOR MAP



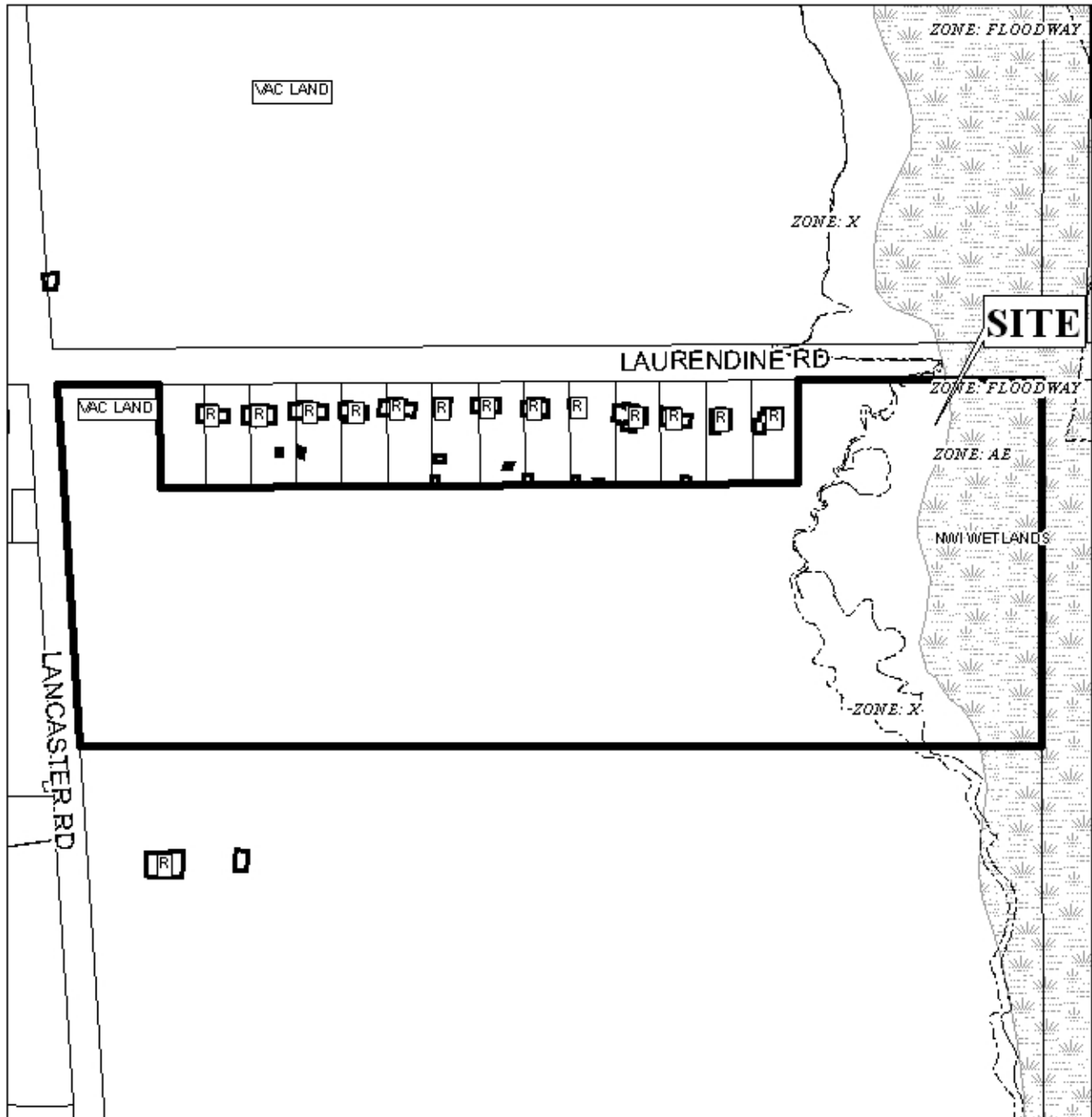
APPLICATION NUMBER 8 DATE September 6, 2012

APPLICANT Oakstone Subdivision

REQUEST Subdivision



# OAKSTONE SUBDIVISION



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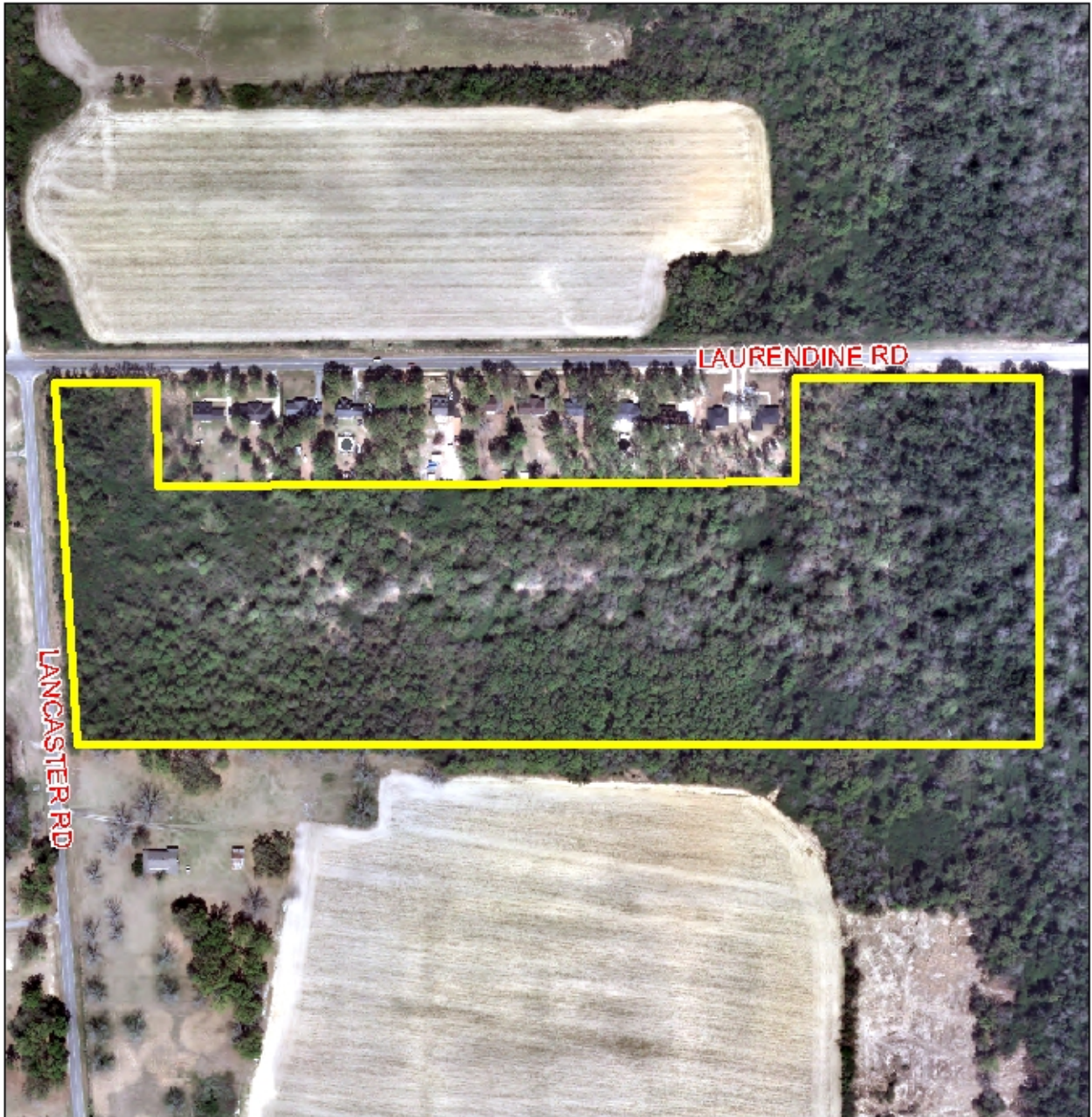
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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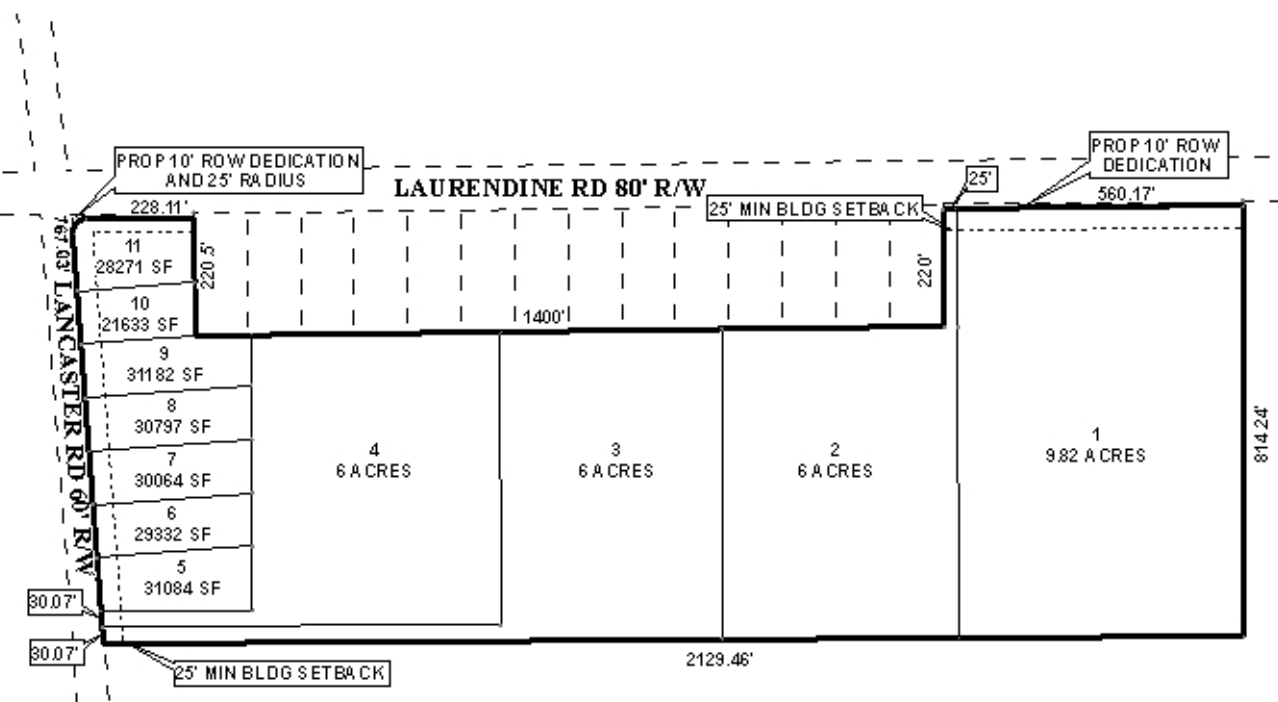
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## DETAIL SITE PLAN



APPLICATION NUMBER 8 DATE September 6, 2012

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REQUEST Subdivision

