

NEWMAN CROSSING SUBDIVISION, RESUBDIVISION OF LOT 4

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 1-lot, 0.1± acre subdivision which is located on the East side of Liberty Drive East, 80'± South of Ives Drive. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by city water and sewer. The purpose of this application is to make alterations to a single legal lot of record.

The proposed lot fronts Liberty Drive East, a minor street requiring a 50' right-of-way width. If approved, the 50' right of way width to Liberty Drive East depicted on the preliminary plat should be retained on the Final Plat.

When previously recorded, the lot had a single 10' drainage easement along the South property line. The preliminary plat illustrates a second 10' drainage easement along the North property line. If approved, a note should be placed on the Final Plat stating that no structure shall be erected in any easement.

The preliminary plat illustrates a 23' minimum building setback line along Liberty Drive West for the proposed Lot A. Staff has been informed that a dwelling was constructed on the site 23.4' from the front property line, thereby requiring a reduced front setback. Therefore, a waiver of Section V.D.9. of the Subdivision Regulations may be necessary.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lot appears to meet the 7,200 square foot minimum lot size requirement for lots served by public water and sewer systems. The lot size information for the proposed Lot A is not provided. If approved, the lot size information should be provided in both square feet and acres on the Final Plat.

As a means of access management, a note should be placed on the Final Plat, if approved, stating that Lot A is limited to one curb cut each to Liberty Drive East, with the size, design and location of the curb cut to be approved by Mobile County Engineering and conform to AASHTO standards.

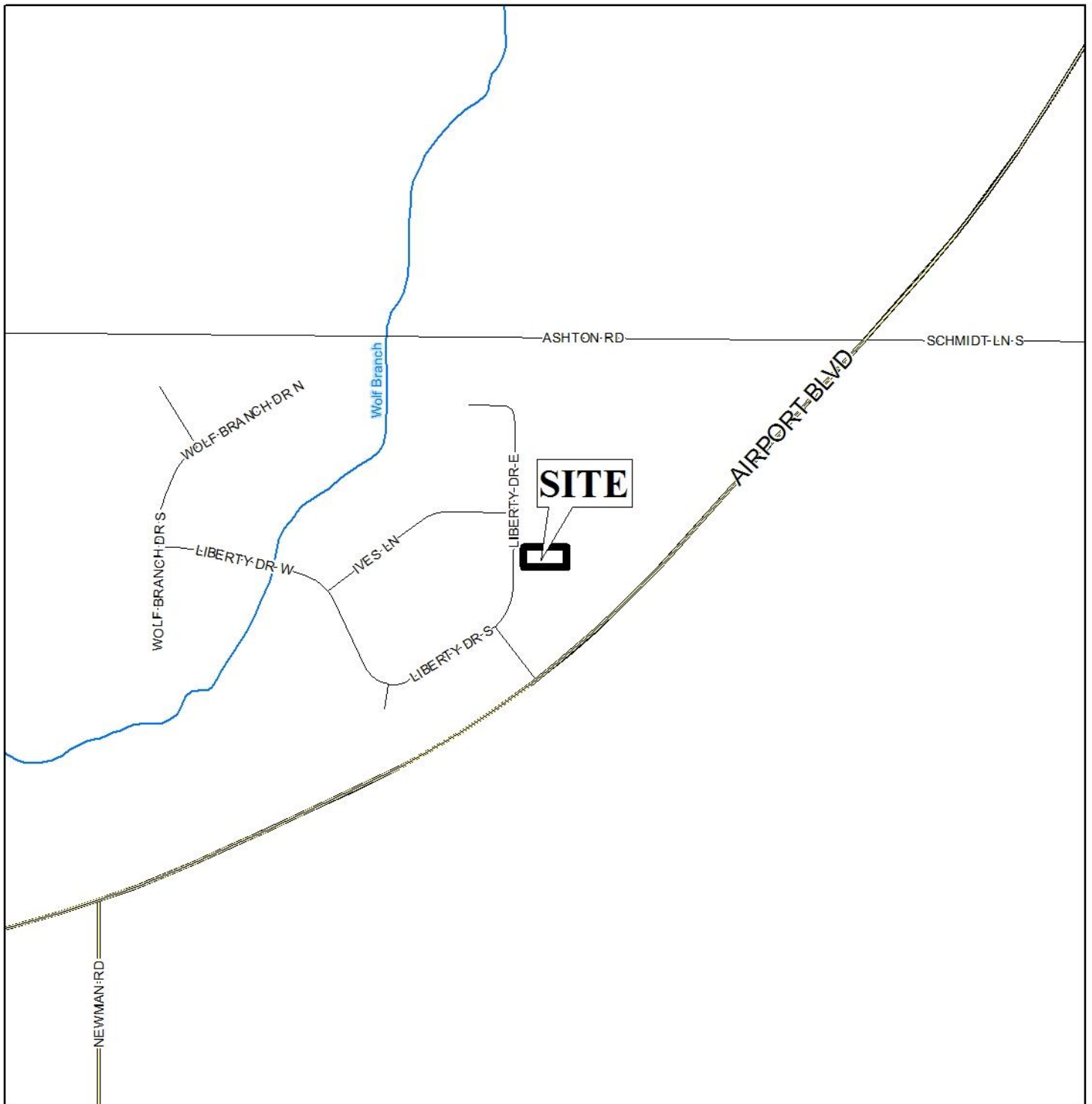
This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

Based upon the preceding, with a waiver of Section V.D.9. of the Subdivision Regulations, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the 50' right-of-way width to Liberty Drive East;
- 2) Retention of the 23' minimum building setback line along Liberty Drive East for Lot A;
- 3) Provision of the lot size information in both square feet and acres on the Final Plat;
- 4) Placement of a note on the Final Plat stating that Lot A is limited to one curb cut to Liberty Drive East, with the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 6) Placement of a note stating that no structures shall be erected in any easement;
- 7) Compliance with Engineering Comments and placement as a note on the Final Plat: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and*
- 8) Compliance with Fire Comment: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).*

LOCATOR MAP



APPLICATION NUMBER 8 DATE July 19, 2018
APPLICANT Newman Crossing Subdivision, Resubdivision of Lot 4
REQUEST Subdivision



LOCATOR ZONING MAP



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FLUM LOCATOR MAP



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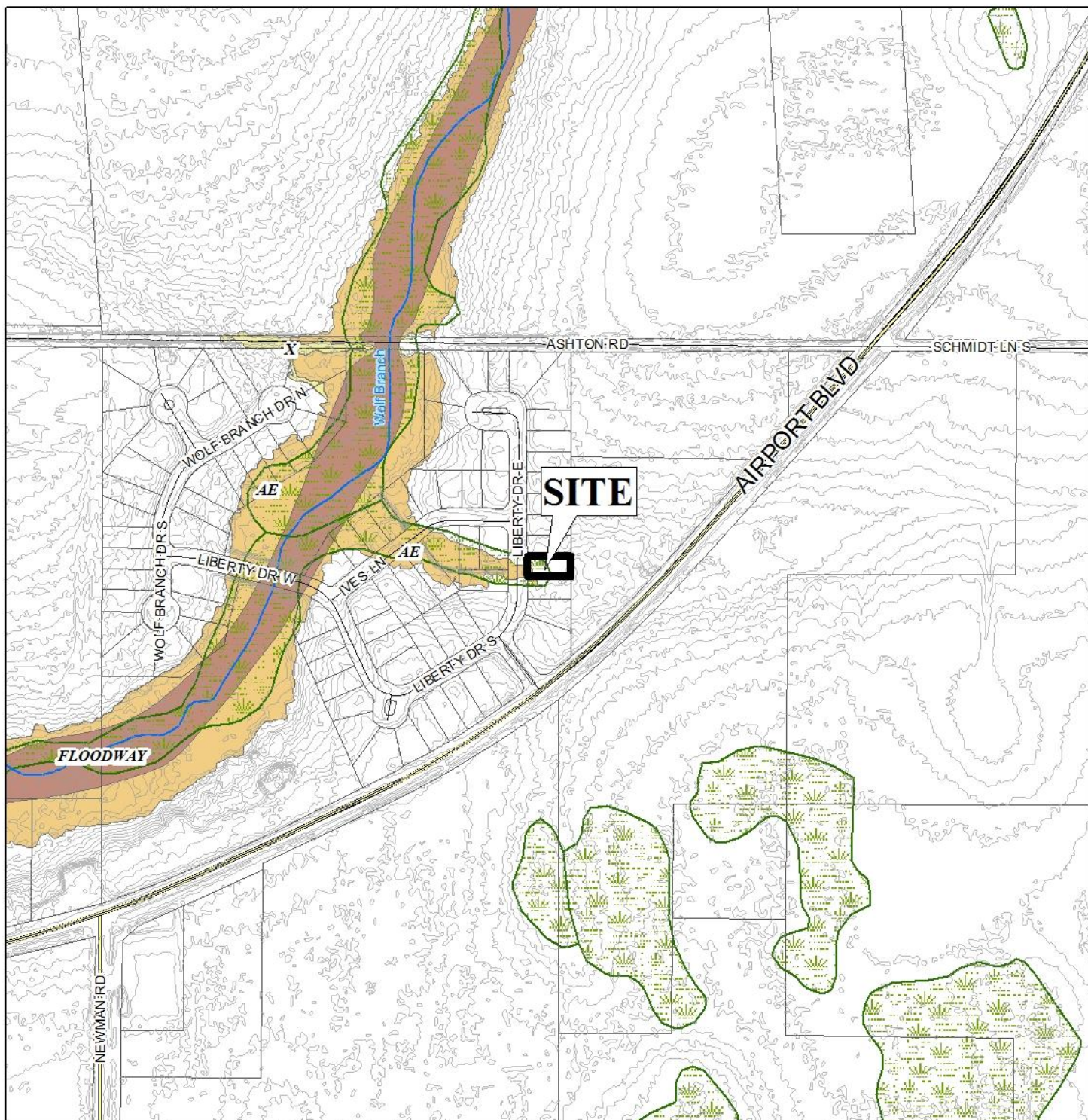
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REQUEST Subdivision

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



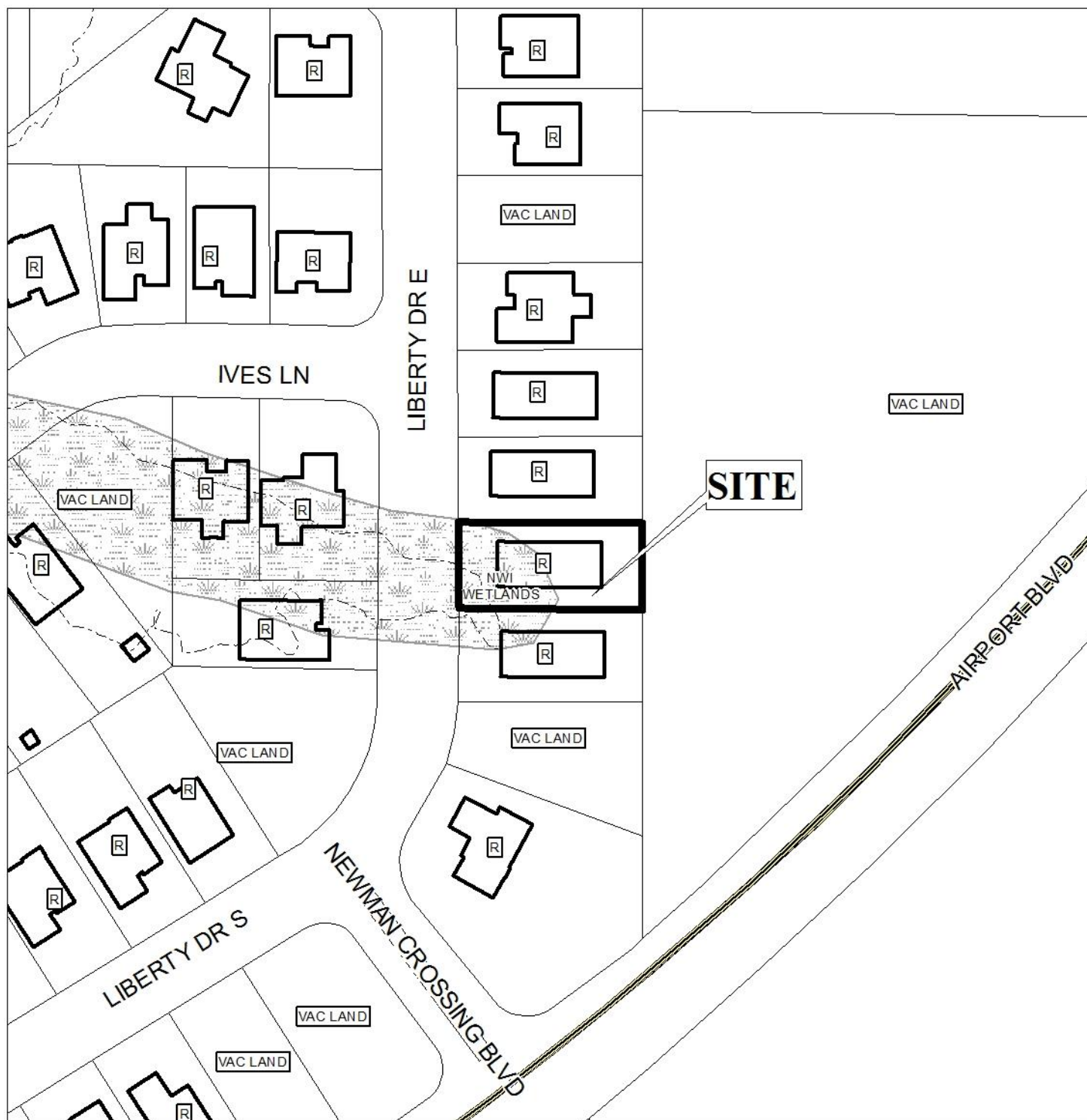
ENVIRONMENTAL LOCATOR MAP



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



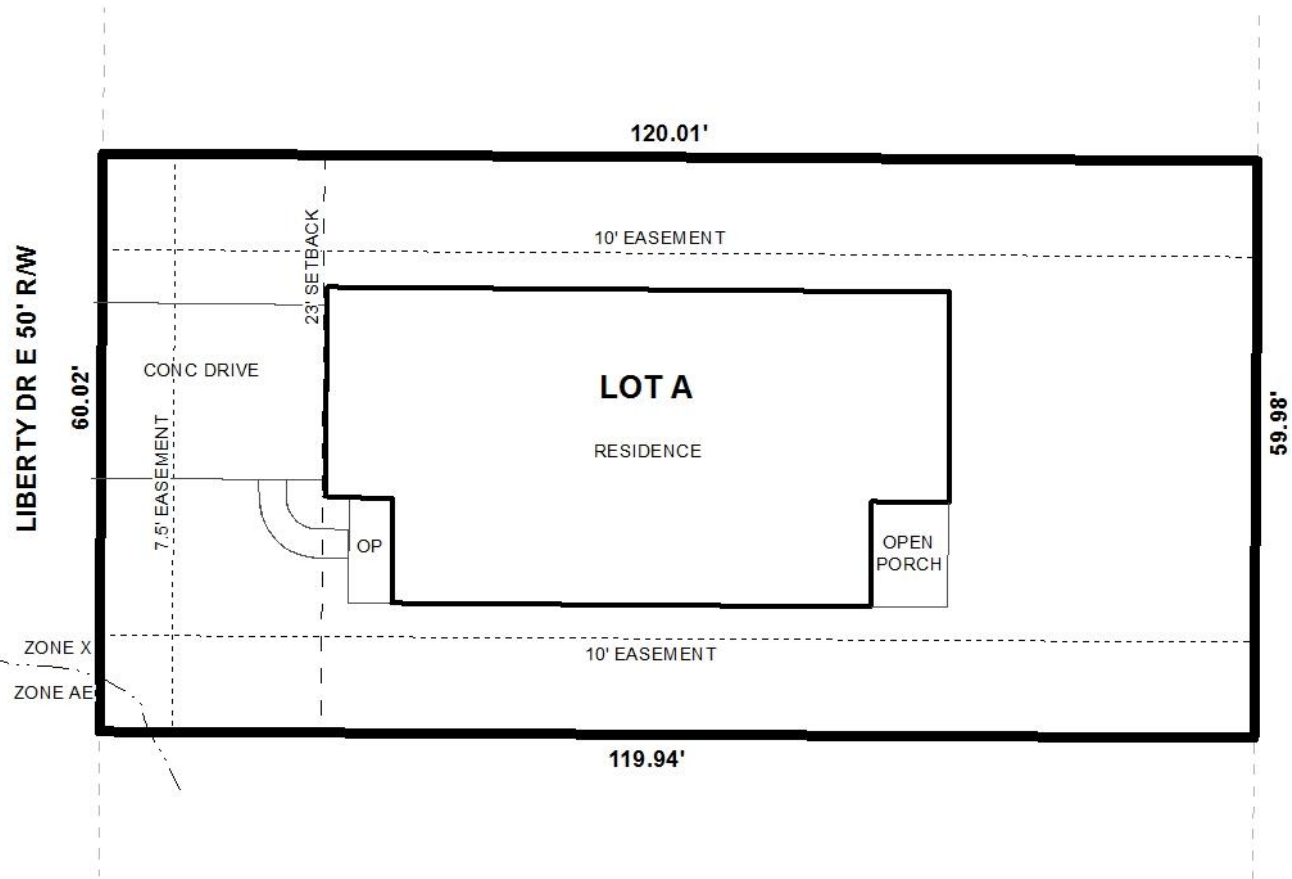
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APPLICATION NUMBER 8 DATE July 19, 2018



DETAIL SITE PLAN



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