

**PLANNED UNIT DEVELOPMENT &
SIDEWALK WAIVER REQUEST
STAFF REPORT**

Date: April 20, 2017

NAME

Kimberly Knowles.

Southeast corner of Airport Boulevard and Thrift Street.

**CITY COUNCIL
DISTRICT**

District 5

PRESENT ZONING

R-1, Single-Family Residential District

AREA OF PROPERTY

0.68 ± Acre

CONTEMPLATED USE

Planned Unit Development Approval to allow shared access between multiple lots, and Sidewalk Waiver to waive construction of a sidewalk along Airport Boulevard and Thrift Street.

**TIME SCHEDULE
FOR DEVELOPMENT**

None given.

**ENGINEERING
COMMENTS**

Planned Unit Development: ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
3. Each Lot Owner shall be required to submit a Land Disturbance Permit application with the initial construction of a single family dwelling or other impervious surface (shed, driveway, slab, asphalt, gravel, etc.).
4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

Sidewalk Waiver: It appears that there is sufficient room within the ROW, or within the property, for the construction of a sidewalk that could be approved through the ROW Permit process.

TRAFFIC ENGINEERING

COMMENTS

With the proposed PUD, Lots 1-4 are denied access to Airport Boulevard and limited to access via the ingress/egress easement located to the south of the property.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

REMARKS

The applicant is requesting Planned Unit Development Approval to allow shared access between multiple building sites, and Sidewalk Waiver to waive construction of a sidewalk along Airport Boulevard and Thrift Street.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Please note that a Planned Unit Development approval by the Planning Commission expires after one year if no permits are obtained.

For the PUD it is stated:

"The applicant is proposing to purchase Lots 3 & 4 from the owner who also owns Lots 1 & 2. In order to construct hoses on Lots 3 & 4, we are proposing a common driveway easement from Thrift Street and running Eastwardly along the South line of Lots 1-4. This will allow for safe vehicular access to and from the individual lots."

The subject site consists of Lots 1, 2, 3 and 4, Block C, Mayfair Hill Subdivision, which are of sub-standard width and were recorded prior to the adoption of the Subdivision Regulations in 1952. The street corner lot is also of substandard size, below 7,200 square feet. In order to construct dwellings on the lots and avoid the hazardous congestion of Airport Boulevard, the applicant proposes to have a shared 25' easement for ingress and egress with a 20' wide driveway running across the rear of all four lots and accessing only Thrift Street. No building setback or site coverage reliefs are being requested.

As the lots were originally recorded well before the development of Airport Boulevard into a Major Street, traffic congestion and lot access were probably of no concern. In order to obtain direct access for all four lots onto Thrift Street, the lots would have to be re-subdivided into a four-lot subdivision of further substandard lot widths. Basically, the only way to develop the lots and not be required direct access onto Airport Boulevard is as proposed by the applicant. As per the Traffic Engineering comments, all lots should be denied access to Airport Boulevard.

As no relief from building setback lines is requested, the site plan should be revised to indicate a 25' front setback line along Airport Boulevard for all four lots, and an 11'-1" side street yard setback along Thrift Street for Lot 1. A 6'-10" side yard setback line should be illustrated along the East line of Lot 1. Lots 2, 3 and 4 would be required a combined side yard total of 16'-8", with 7'-2" being the minimum allowed on one side. A note should be placed on the site plan stating these allowances for Lots 2, 3 and 4. Also, since no increased site coverage allowance is requested, a note should be placed on the site plan stating that all lots are limited to a maximum site coverage of 35%. As the driveway accessing all four lots is contained within an easement, a note should be placed on the site plan stating that no structures may be constructed or placed within this easement.

The site plan should be revised to label the Thrift Street right-of-way width. And if the Sidewalk Waiver request is denied, the site plan should be revised to indicate a compliant public sidewalk in those areas where the Waiver is denied.

Pertaining to the Sidewalk Waiver request, it is stated:

"I am requesting a Sidewalk Waiver along Airport Boulevard and Thrift Street due to the short distance between the property line and curb line and the steep bank along Airport Boulevard. The power pole and light pole at the street intersection would make it impossible to construct a standard City sidewalk. Further, there are no sidewalks on Airport Boulevard 3200' Westwardly 1100' Eastwardly. Also there are no sidewalks in the Mayfair Hills and Jackson Heights Subdivisions."

It should be pointed out that the Mobile City Council adopted a "complete streets" policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities. A waiver of the sidewalk, as requested, will limit accessibility for pedestrians, transit riders and cyclists.

The Sidewalk Waiver request also includes Lot 7, Block C, Mayfair Hill Subdivision, in addition to the other four lots included in the P.U.D. Lot 7 is not part of the P.U.D., but as future development of this lot is also proposed, it is included in the Sidewalk Waiver request.

As per the City Engineering review of the request, it appears that there is sufficient room within the ROW, or within the property, for the construction of a sidewalk that could be approved through the ROW Permit process. Therefore, the Sidewalk Waiver request should be recommended for denial.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for approval subject to the following conditions:

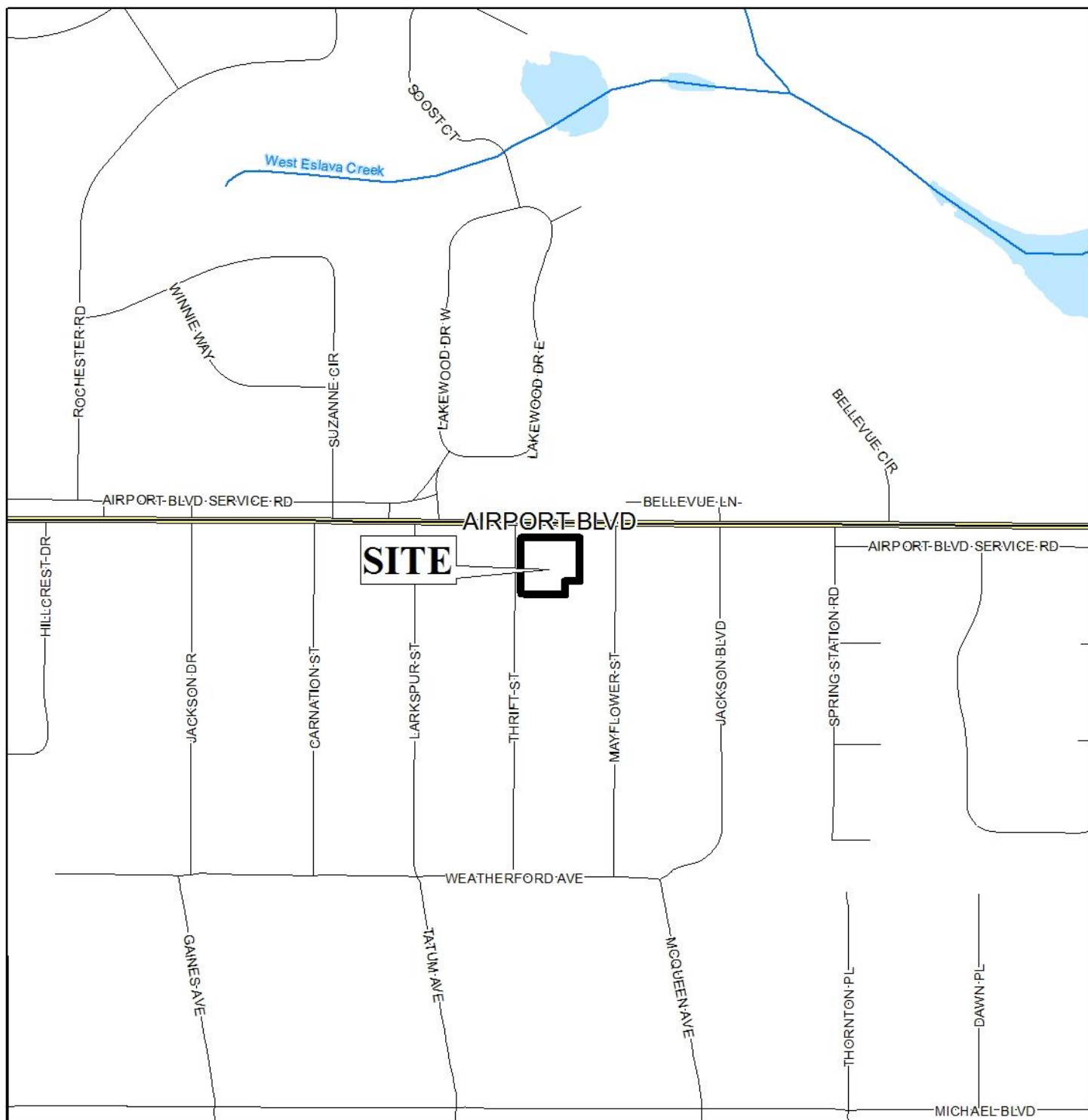
- 1) placement of a note on the site plan stating that Lots 1 – 4 are denied direct access to Airport Boulevard;
- 2) revision of the site plan to illustrate a 25' minimum building setback line along Airport Boulevard for all four lots;
- 3) revision of the site plan to illustrate an 11'-1" minimum building setback line along Thrift Street for Lot 1;
- 4) revision of the site plan to illustrate a 6'-10" side yard setback for Lot 1 along its East side;
- 5) placement of a note on the site plan stating that Lot 2, 3 and 4 must maintain a combined side yard total of 16'-8", with a minimum side yard setback of 7'-2" on one side;
- 6) placement of a note on the site plan stating that all lots are limited to a 35% maximum site coverage by all structures;
- 7) placement of a note on the site plan stating that no structure may be placed or constructed within the common driveway easement;
- 8) revision of the site plan to label the Thrift Street right-of-way width;
- 9) revision of the site plan to illustrate a public sidewalk within any areas where the Sidewalk Waiver might be denied;
- 10) compliance with Engineering comments: *[ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3. Each Lot Owner shall be required to submit a Land Disturbance Permit application with the initial construction of a single family dwelling or other impervious surface (shed, driveway, slab, asphalt, gravel, etc.). 4. The approval of all applicable federal, state,*

and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];

- 11) compliance with Traffic Engineering comments: *(With the proposed PUD, Lots 1-4 are denied access to Airport Boulevard and limited to access via the ingress/egress easement located to the south of the property.);*
- 12) compliance with the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64)];*
- 13) compliance with the Fire comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)];*
- 14) full compliance with all municipal codes and ordinances; and
- 15) submission to and approval by Planning and Zoning of a revised site plan prior to the submission for any development permits.

Sidewalk Waiver: The request to waive construction of sidewalks along Airport Boulevard and Thrift Street is recommended for Denial.

LOCATOR MAP



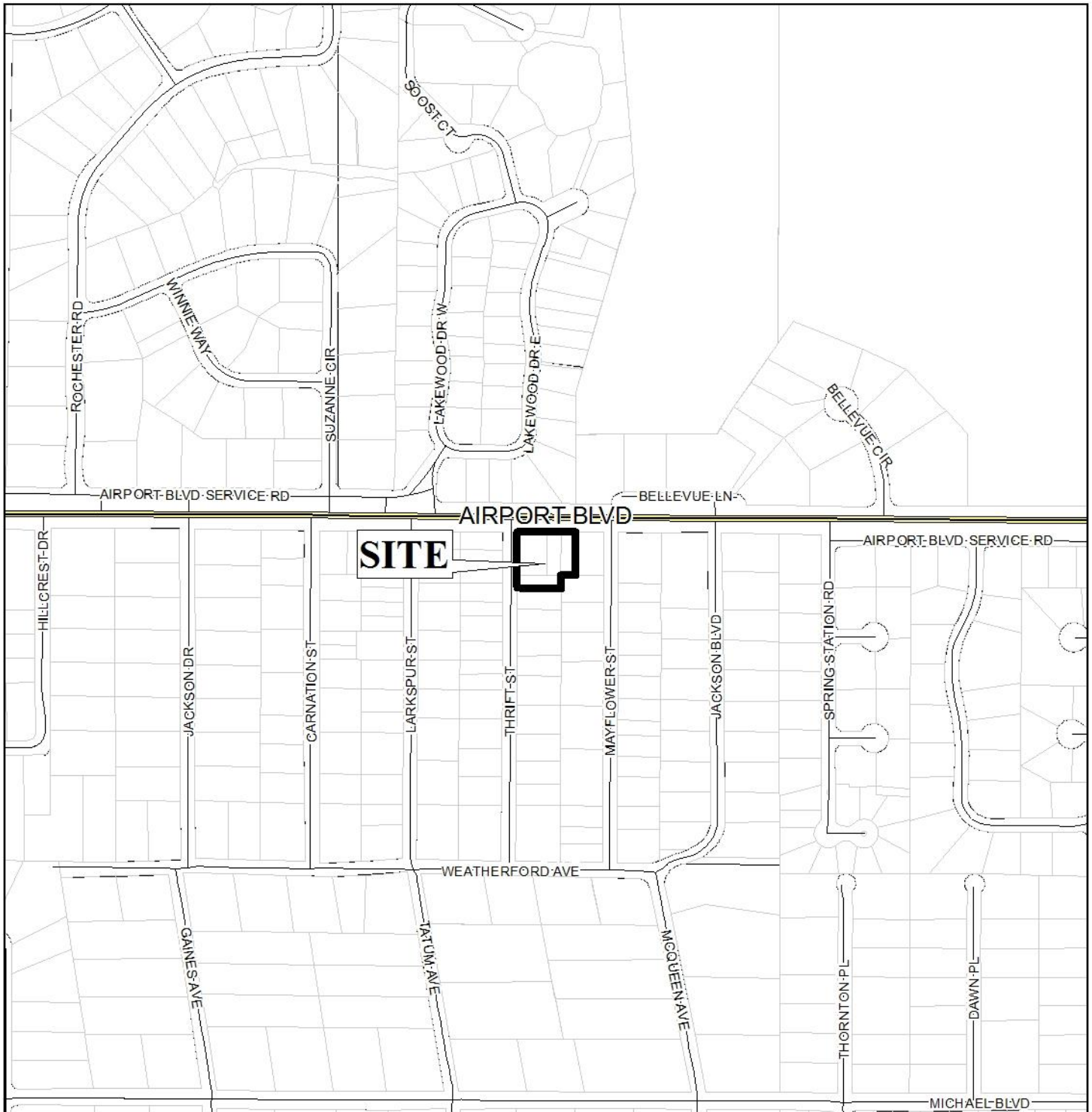
APPLICATION NUMBER 8 DATE April 20, 2017

APPLICANT Kimberly Knowles

REQUEST Planned Unit Development, Sidewalk Waiver



LOCATOR ZONING MAP



APPLICATION NUMBER 8 DATE April 20, 2017

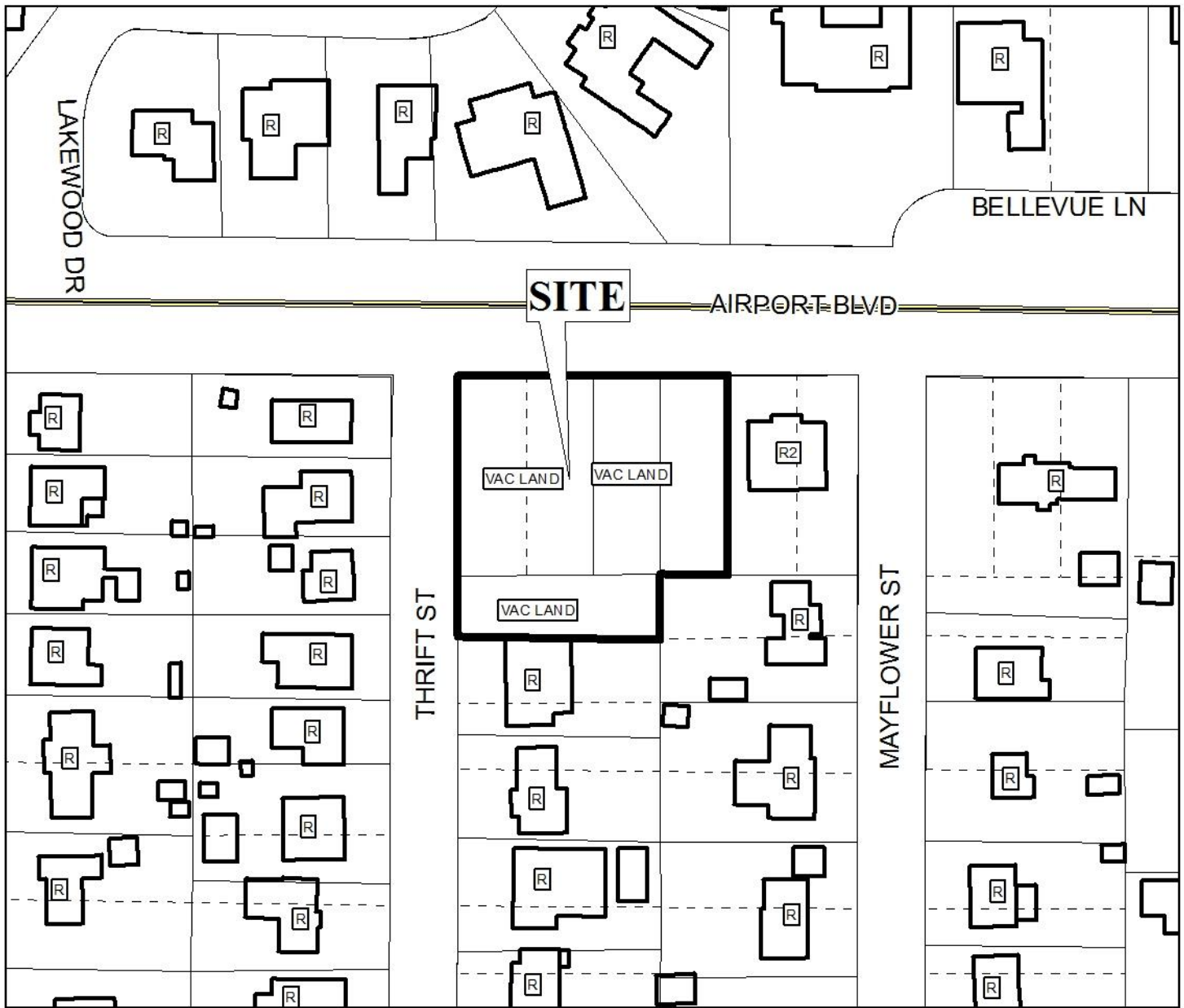
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



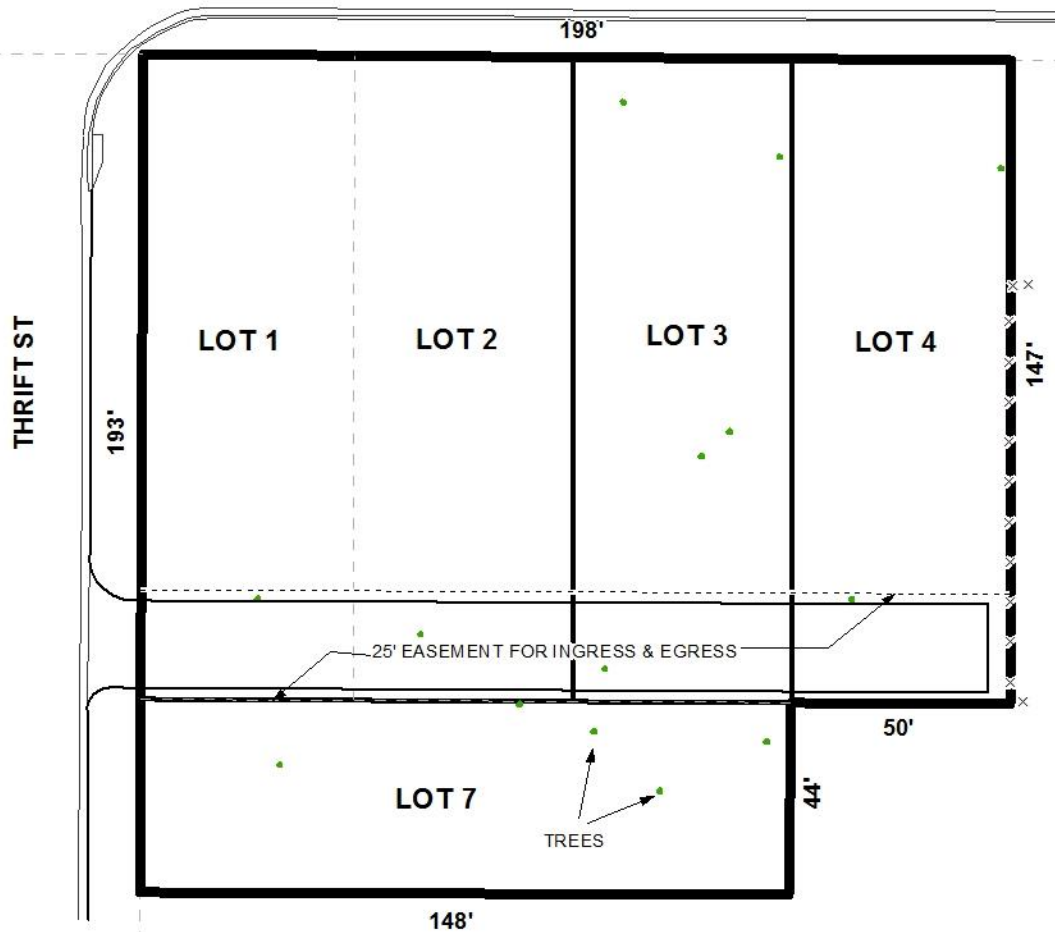
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SITE PLAN

AIRPORT BLVD 100' R/W



The site plan illustrates the existing lots, and proposed common driveway easement.

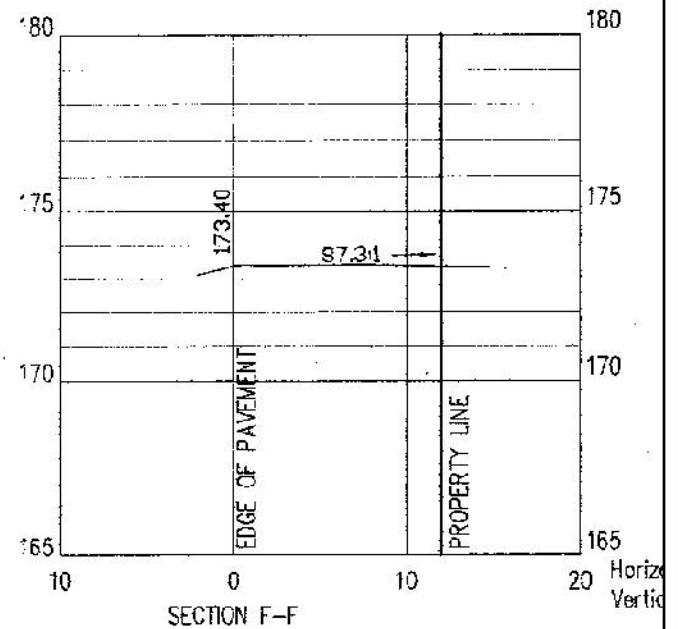
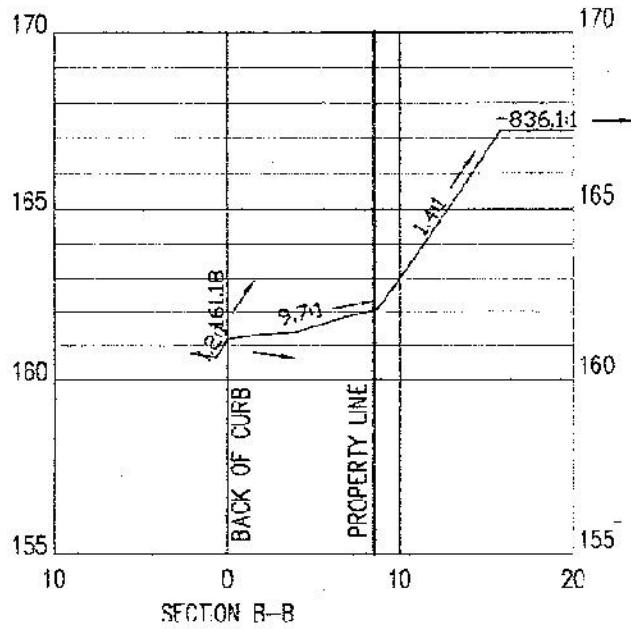
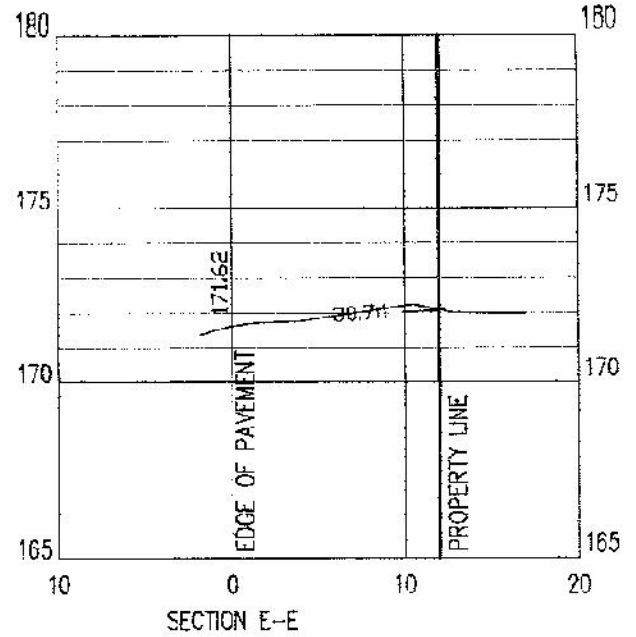
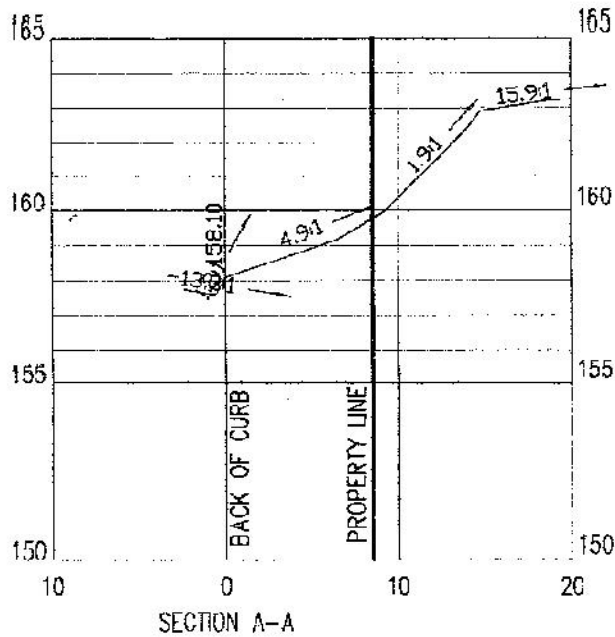
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DETAIL SITE PLAN



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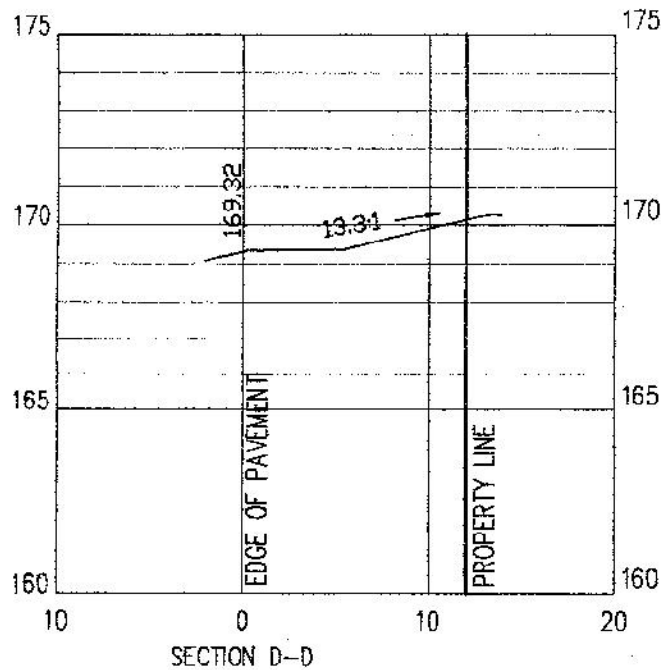
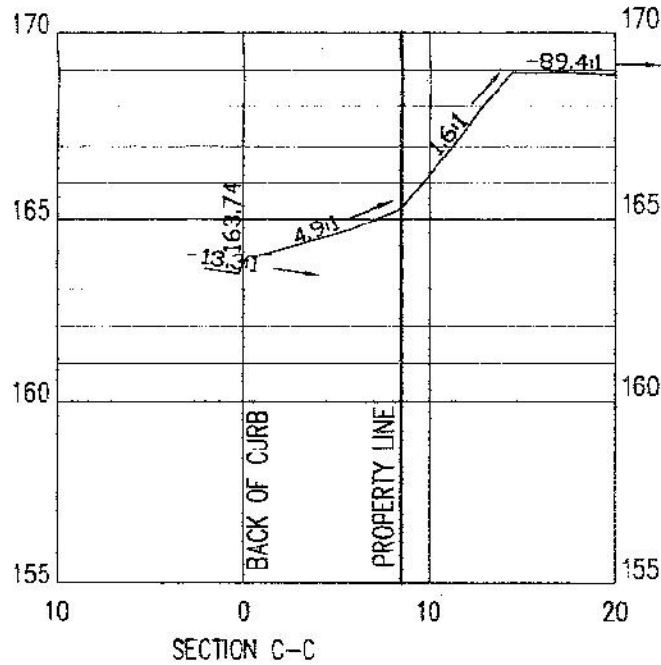
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DETAIL SITE PLAN

SECTION



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