

JUNIOR SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

Revised Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate. All projects within the Mobile County Fire Jurisdiction must comply with the 2006 International Fire Code, as adopted.

The plat illustrates the proposed 1 lot, 42.1 ± acre subdivision which is located on the North side of Three Notch Road at Travis Road, and extending North to the West terminus of Balsawood Drive. The applicant states that the subdivision is served by public water and individual septic systems.

The purpose of this application is to create one 2.6 ± acre lot, and leave the remainder of the parcel for “future development.” It should be pointed out that the “future development” area already contains one single-family residence and a borrow-pit (based upon 2006 aerial photos and land use surveys), thus the plat should be revised to depict at minimum a two lot subdivision. The Planning Commission has required a Holdover on many similar applications that label areas already developed as “future development,” thus such a requirement for this application may be appropriate.

The site fronts Three Notch Road, a proposed major street with a right-of-way that appears to be less than the minimum 100-foot width recommended by the Major Street component of the Comprehensive Plan. The plat should be revised to depict dedication sufficient to provide 50-feet of right-of-way, as measured from the centerline.

Since Three Notch Road is a proposed major street, access management is a concern. Proposed Lot 1 and the “future development” area should be limited to a maximum of two curb-cuts each, with, the size, design and location of all curb-cuts are to be approved by County Engineering.

The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the final plat, if approved. The setback line should reflect the required dedication.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Based on the preceding, the plat is recommended for Holdover until the August 2nd meeting, with revisions due to the Planning Section of Urban Development by Noon on July 10, for the following reasons:

- 1) revision of the application to be a minimum of a two-lot subdivision, with labels, postage and revised application fees (for the additional lot);
- 2) revision of the plat to depict at minimum two lots, and revision of the plat to depict requested dedication and curb-cut limitations;
- 3) placement of a note on the plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.; and
- 4) placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Revised for the August 2nd meeting:

The application was heldover from the July 5th meeting, per the staff's recommendations. No additional information was received.

Based on the preceding, the plat is recommended for Denial for the following reasons:

- 1) The future development area is already developed with one single-family residence; and*
- 2) The plat was not revised to comply with the requirements of the Subdivision Regulations.*

Revised for the August 16th meeting:

The application was heldover until August 16th at the applicant's request. A revised plat was submitted at the August 2nd meeting of the Planning Commission.

The revised plat does not show dedication of right-of-way for Three Notch Road. The plat should be revised to show dedication sufficient to provide 50-feet, as measured from the centerline of Three Notch Road. The 25-foot minimum building setback line is not depicted, but should be shown, and should reflect the required dedication.

The revised plat shows the "future development" area as proposed Lot 2. Proposed Lot 2 has 510 feet of frontage onto Three Notch Road, and frontage onto a street-stub associated with the Prospect Heights Subdivision, Unit Two: access to the street-stub should be denied, however, future consideration to connect to the street-stub should be provided if applications to further

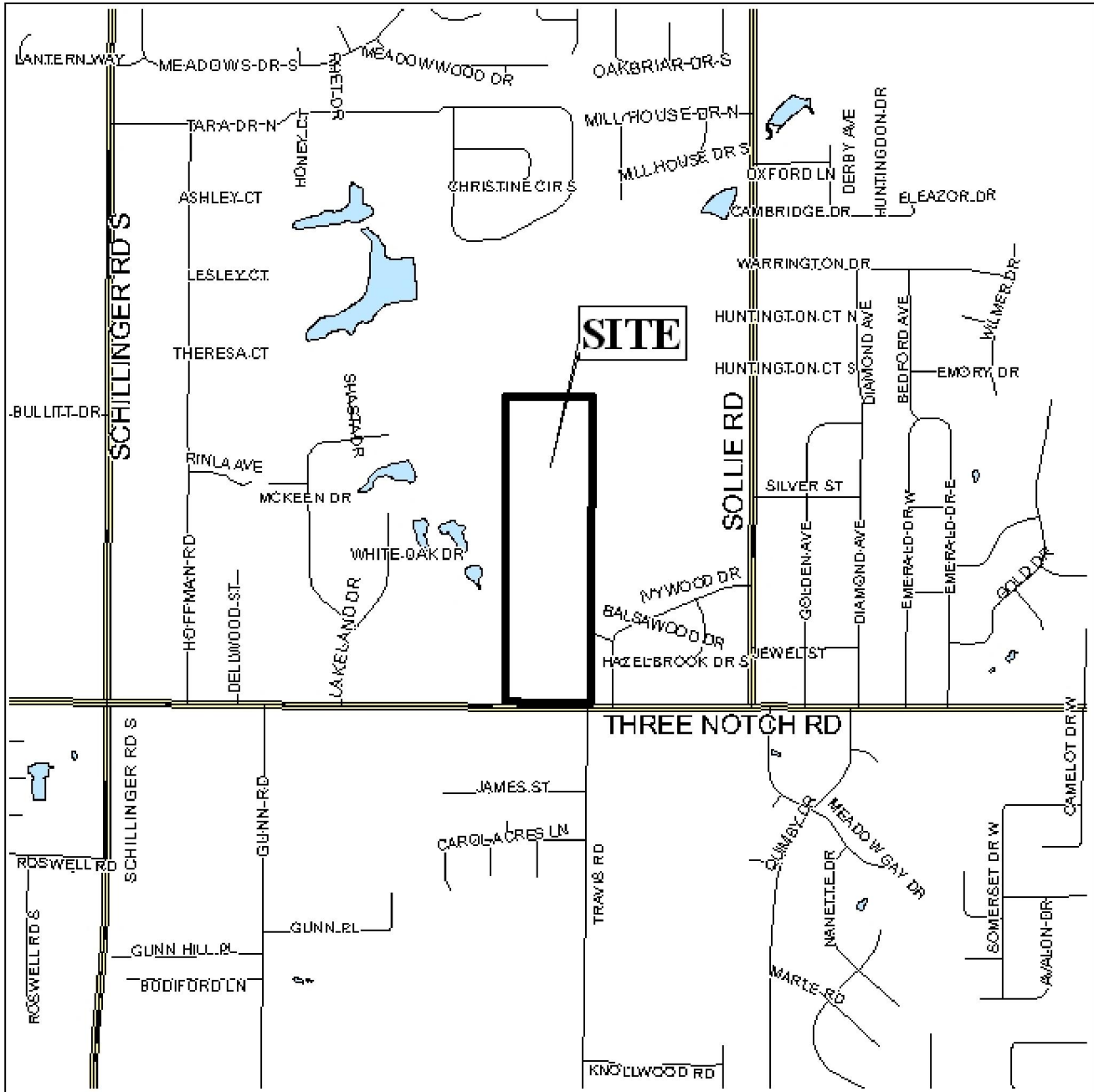
subdivide Lot 2 are submitted in the future. It appears that the driveway serving the existing borrow-pit is split by the proposed lot line, thus an additional curb-cut onto Three Notch Road may be appropriate for Lot 1. Therefore, proposed Lot 1 and Lot 2 should be limited to a maximum of two curb-cuts each, with, the size, design and location of all curb-cuts to be approved by Mobile County Engineering.

As the borrow pit appears to be actively used, compliance with the buffer requirements of the Subdivision Regulations will be necessary.

Based upon the revised plat, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Revision of the plat to show dedication sufficient to provide 50-feet, as measured from the centerline of Three Notch Road;*
- 2) Depiction of the 25-foot minimum building setback line from the dedicated right-of-way and from the street-stub associated with the Prospect Heights Subdivision, Unit Two;*
- 3) placement of a note on the plat stating that each lot is limited to two curb-cuts each onto Three Notch Road, and that Lot 2 is denied access to the street-stub to the East, with the size, design and location to be approved by Mobile County Engineering Department;*
- 4) placement of a note on the plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.; and*
- 5) compliance with the regulations, and placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.*

LOCATOR MAP



APPLICATION NUMBER 8 DATE August 16, 2007

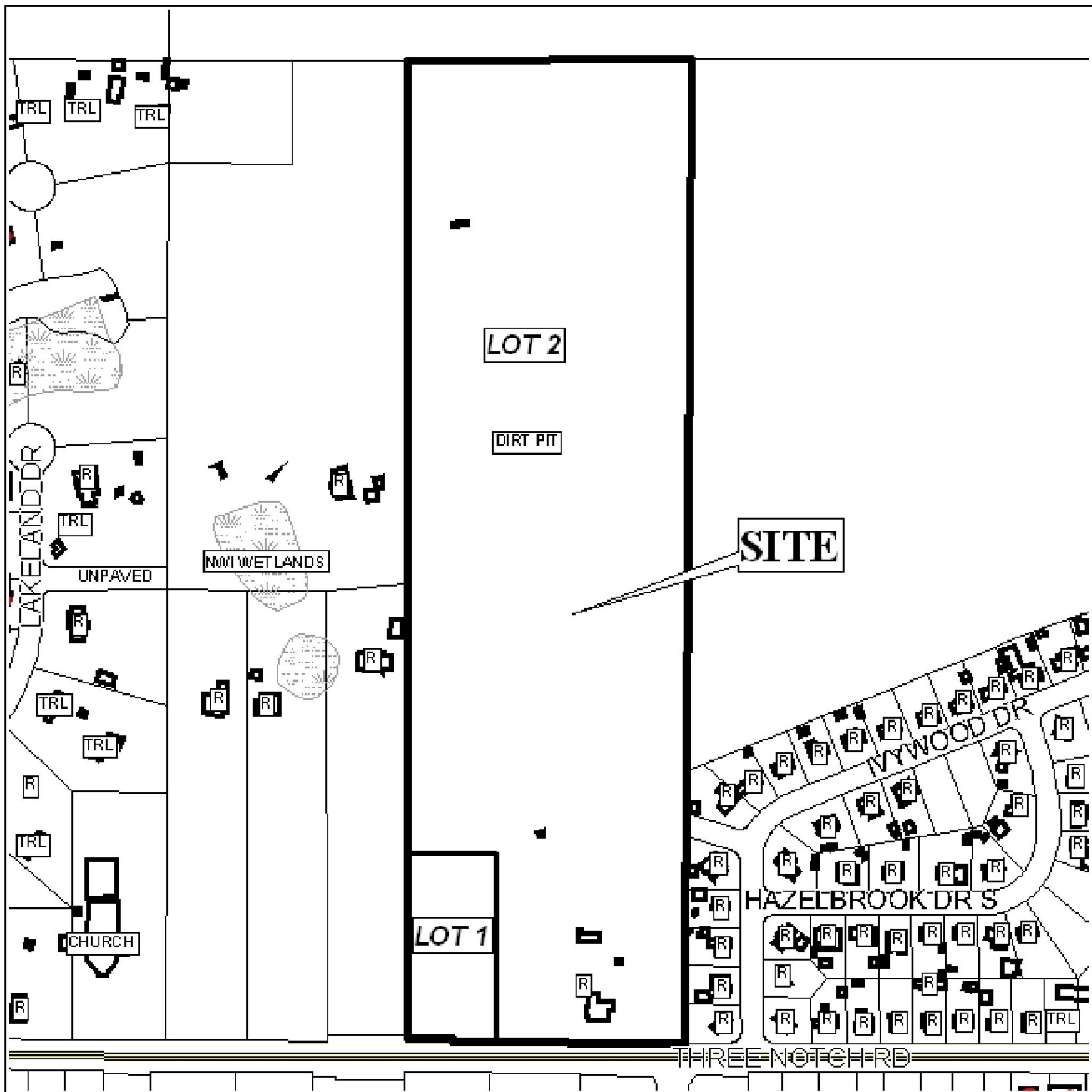
APPLICANT Junior Subdivision

REQUEST Subdivision



NTS

JUNIOR SUBDIVISION



APPLICATION NUMBER 8 DATE August 16, 2007

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	E-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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