

**SIDEWALK WAIVER REQUEST
STAFF REPORT****Date: March 19, 2015****NAME**

EGM, LLC

LOCATION1716 Industrial Park Drive
(West side of Industrial Park Drive, 415'± North of Halls
Mill Road)**PRESENT ZONING**

I-1, Light Industry District

ENGINEERING**COMMENTS**

1. Due to the location of the existing asphalt parking lot it is recommended that the applicant:

- a. Replace the existing north curbcut with a new commercial curbcut, and tie the proposed sidewalk to the existing sidewalk north of the power pole (approx. 10'). Coordinate with utility providers to request the relocation of the existing power poles.
- b. Install new sidewalk (approx. 100') from the south property line to the south line of the existing asphalt parking lot.
- c. Remove the parking bumpers located within the ROW.

TRAFFIC ENGINEERING**COMMENTS**

If sidewalk is to be constructed based on the comments provided by Engineering, the sidewalk may need to be extended to the southern driveway, or a parking space eliminated to provide a continuous accessible route via the existing asphalt surface.

URBAN FORESTRY**COMMENTS**

Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

REMARKS

The applicant is requesting that construction of a sidewalk along Industrial Park Drive be waived.

This site appeared before the Planning Commission at its August 21, 2014 meeting where the Commission approved a 1-lot Subdivision and rezoning request. No sidewalk waiver was submitted at that time; however, the applicant was advised in the Staff Report that a sidewalk may be required at the time of any structural expansions of the site, as the property was already industrially developed.

The applicant mentions that the reason for the waiver results from an existing water meter, storm water infrastructure, overhead/underground utilities, and a mail box. It would appear that modifications to the existing parking lot along Industrial Park Drive may allow for the construction of a sidewalk, however, the applicant states that, "This building, driveways and parking lot was designed and approved by the City some years ago without a sidewalk and since

there are no site changes proposed with respect to the current construction, it does not seem appropriate to require a sidewalk that will require modification to the existing parking lot.”

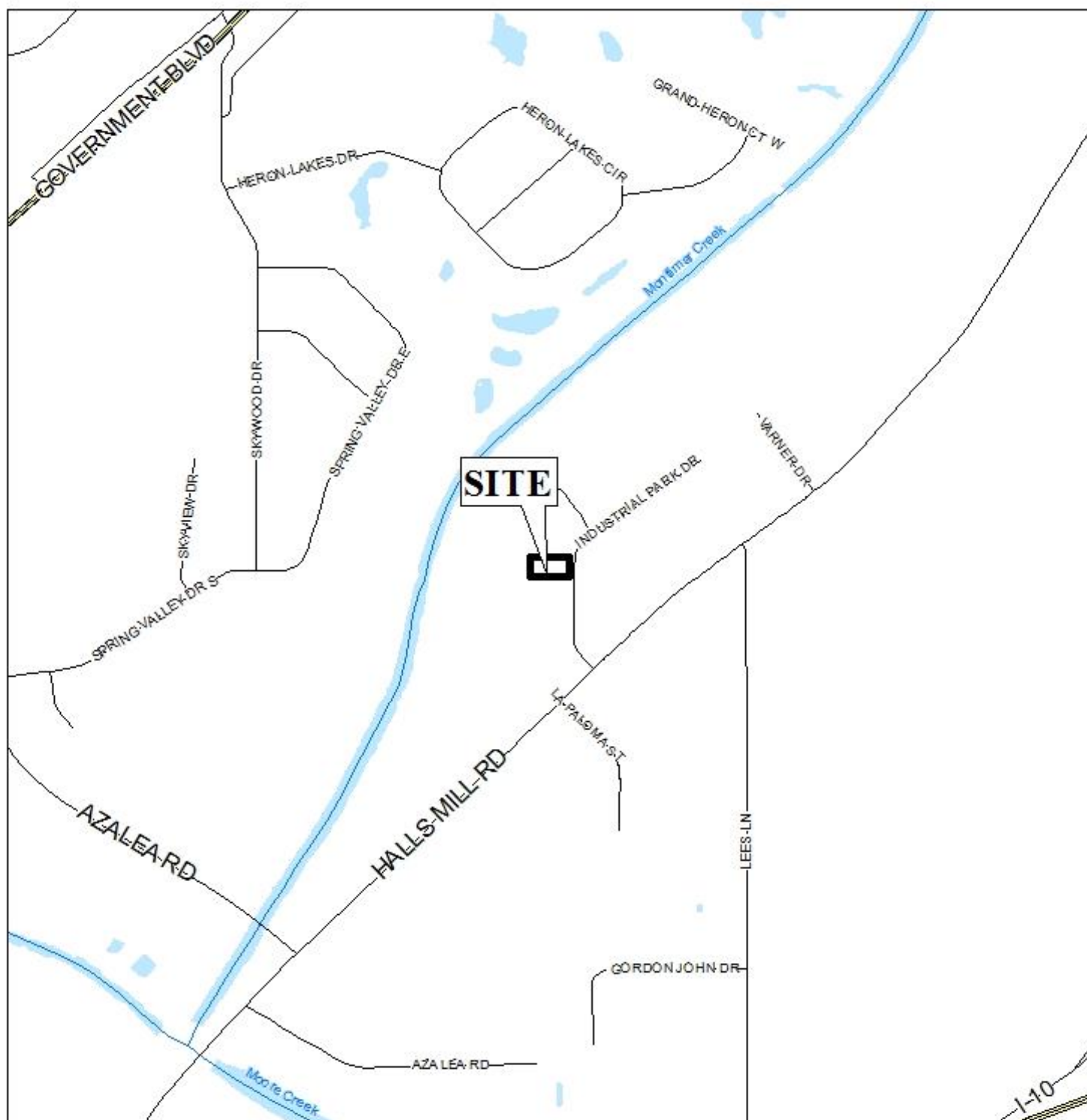
As mentioned previously, the sidewalk waiver site is industrially zoned, as is all adjacent property along Industrial Park Drive. Although there are sidewalks along this street, it appears no new sidewalks have been constructed within the last 10 years since the majority of the lots along this street are already developed.

Given the fact that the area is industrially developed, it would appear that pedestrian traffic in the vicinity is minimal and not likely to increase and due to the existing site conditions of the sidewalk waiver site, a waiver of the construction of the sidewalk along Industrial Park Drive may seem appropriate, until such time as any building expansion requiring a land disturbance permit is proposed for the site.

RECOMMENDATION

Based upon the preceding, the application for a waiver of the sidewalk along Industrial Park Drive is recommended for approval, until such time that any building expansion requiring a land disturbance permit is proposed for the site.

LOCATOR MAP



APPLICATION NUMBER 8 DATE March 19, 2015

APPLICANT EGM, LLC

REQUEST Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

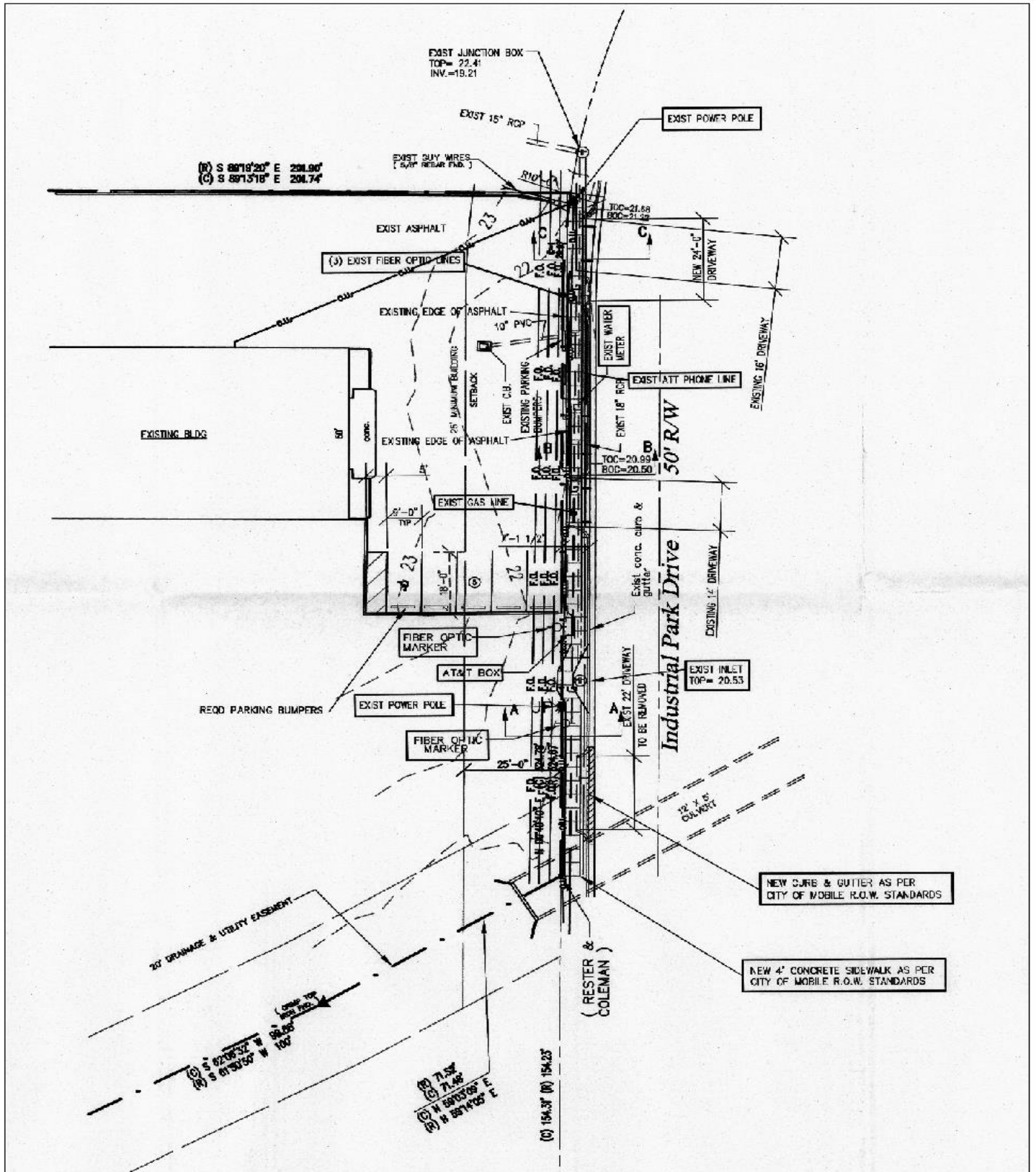
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DETAIL SITE PLAN



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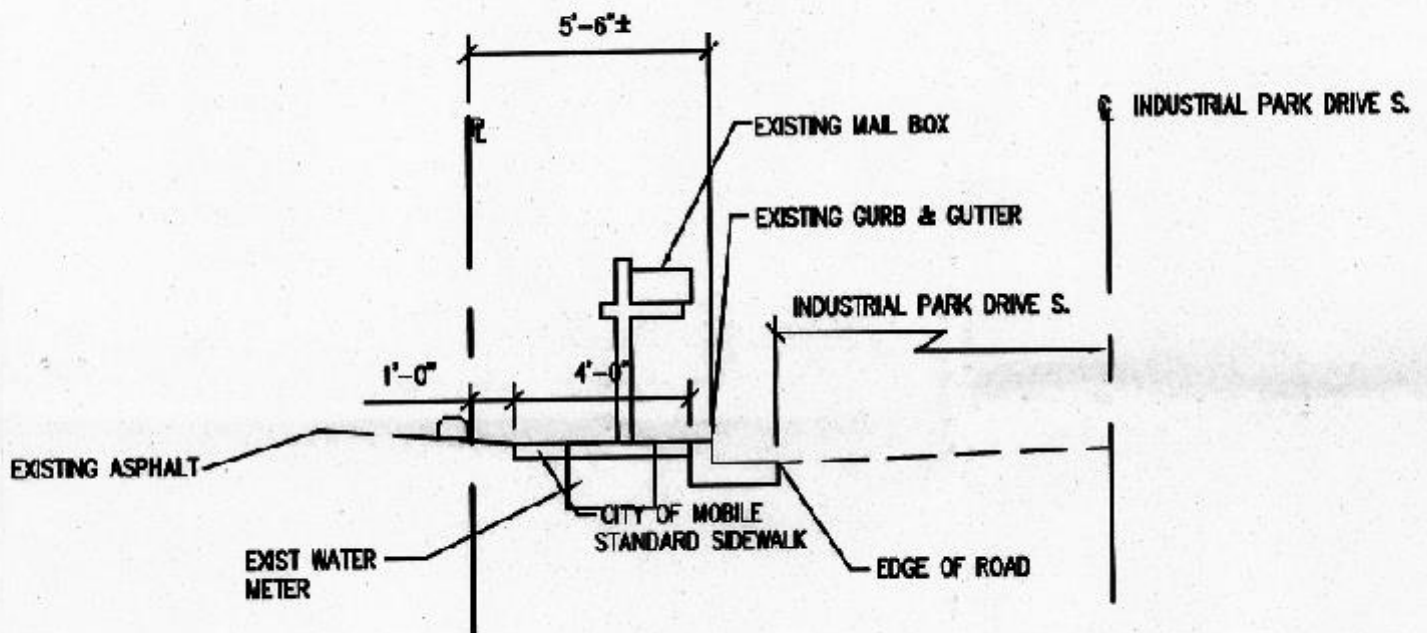
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NTS

DETAIL SITE PLAN



CROSS SECTION B-B
NO SCALE

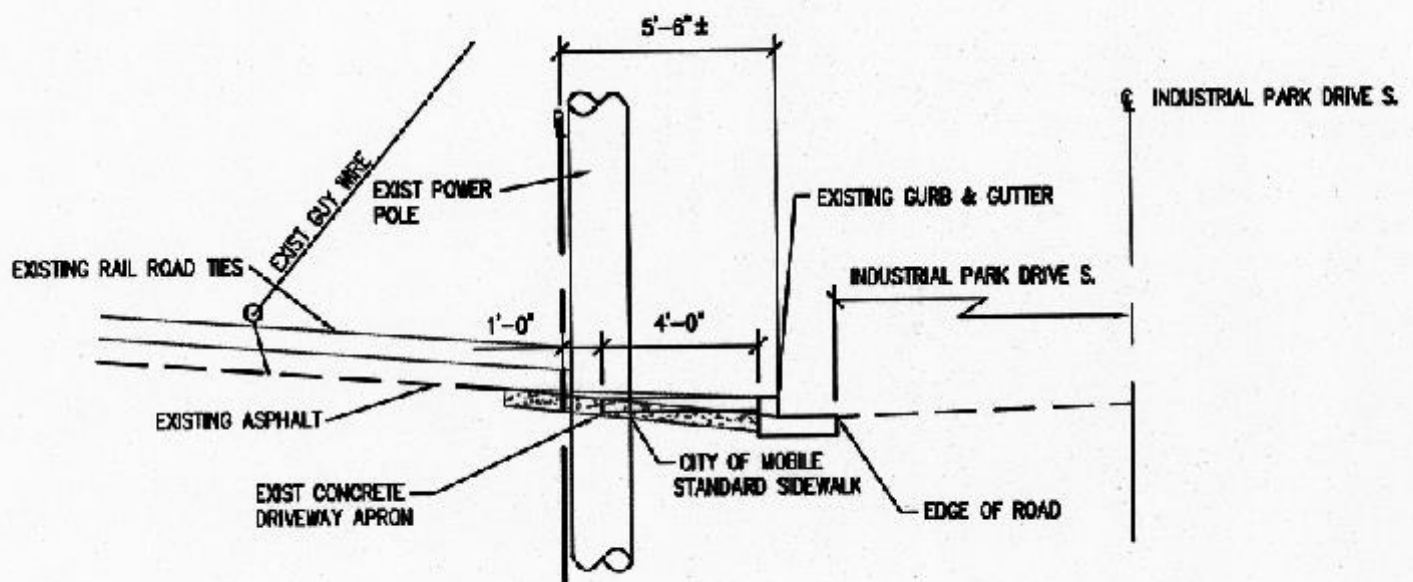
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DETAIL SITE PLAN



CROSS SECTION C-C
NO SCALE

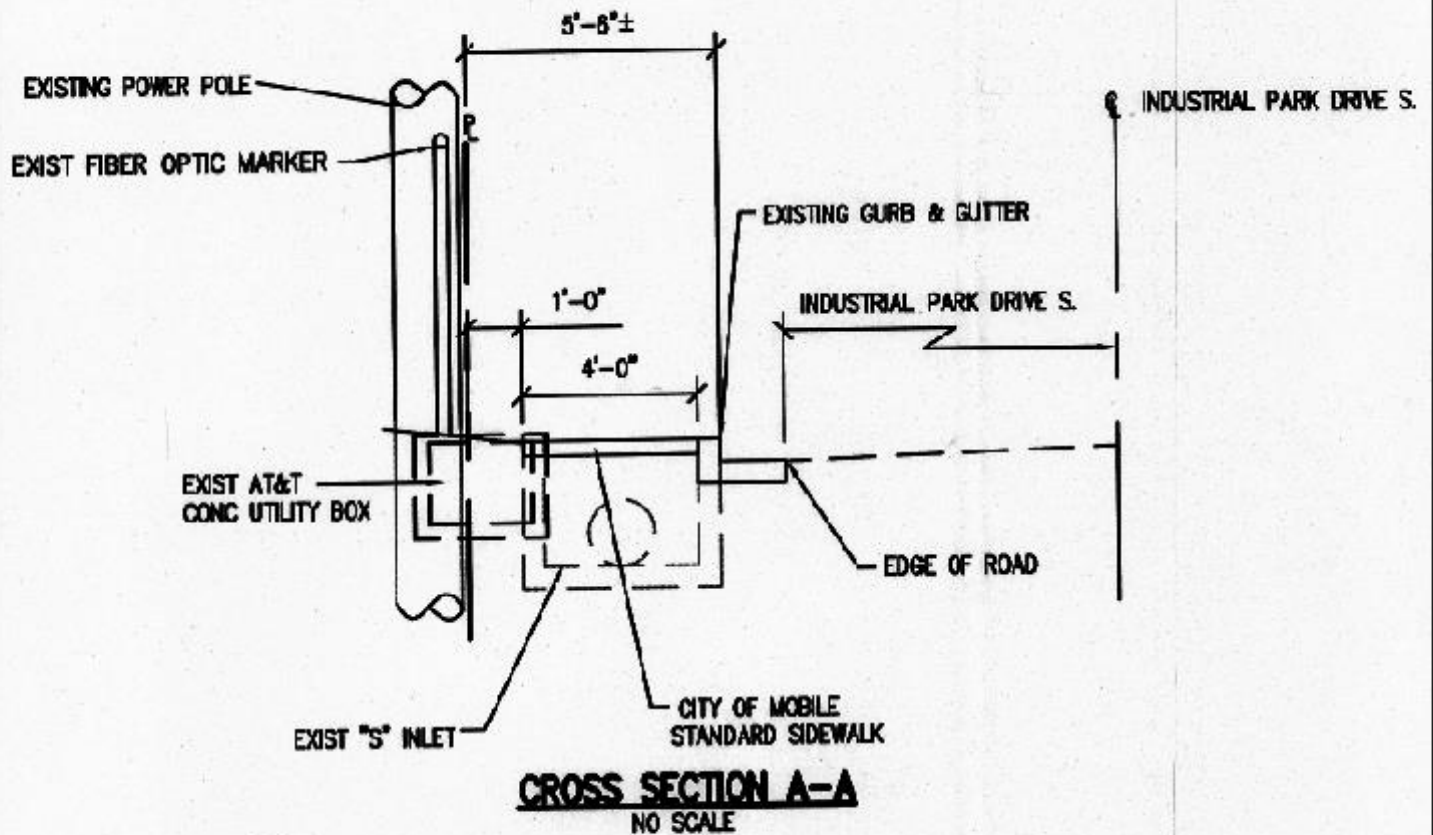
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