

DUBLIN STREET SUBDIVISION

Engineering Comments: The following comments should be addressed prior to review, acceptance and signature by the City Engineer: 1) Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2) Provide a signature block and signature from the Traffic Engineering Department. 3) Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045). 4) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. City of Mobile driveway standards are 24 foot wide with 20 foot radii. Changes must be made to the driveway as shown to meet the standards and eliminate backing into the right-of-way.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 1-lot, 0.3± acre subdivision, which is located at the Southeast corner of Dublin Street East and Dublin Street, in Council District 2. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create one legal lot of record from an existing metes-and-bounds parcel.

The proposed lot, as depicted, does not meet the minimum size requirements as regulated by Section V.D.2. of the Subdivision Regulations. However, as the site consists of portions of smaller existing legal lots of record, a waiver of Section V.D.2. would seem in order. The area of the lot is depicted on the plat, and should also be shown on the Final Plat in square feet, or a table provided on the Final Plat with the same information, if approved. The plat should be revised to indicate the lot size in square feet and acres after any required right-of-way dedication.

The proposed lot has frontages on Dublin Street and Dublin Street East, both minor streets with required 50' rights-of-way but with substandard 40' rights-of-way. Therefore, dedication should be required to provide 25' from the centerline of each street. Dedication should also be required to provide a radius curve at the intersection of Dublin Street and Dublin Street South, with the size to be coordinated with Traffic Engineering and City Engineering.

As a means of access management, a note should be required on the Final Plat stating that the lot is limited to one curb cut to Dublin Street and one curb cut to Dublin Street East, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

The minimum building setback lines are not indicated along the street frontages; however, a note accompanying the application indicates a Setback Variance will be sought for a 15' minimum building setback line along Dublin Street. An application for reduced front yard setbacks along both Dublin Street and Dublin Street East is scheduled to be heard by the Board of Zoning Adjustment at its June 3rd meeting; however, the requested setbacks are for other than just 15' along Dublin Street. Therefore, the plat should be revised to indicate the standard 25' minimum building setback lines or whatever setbacks are approved, if approved, by the Board of Adjustment. The setbacks should be measured from the property line following required dedications.

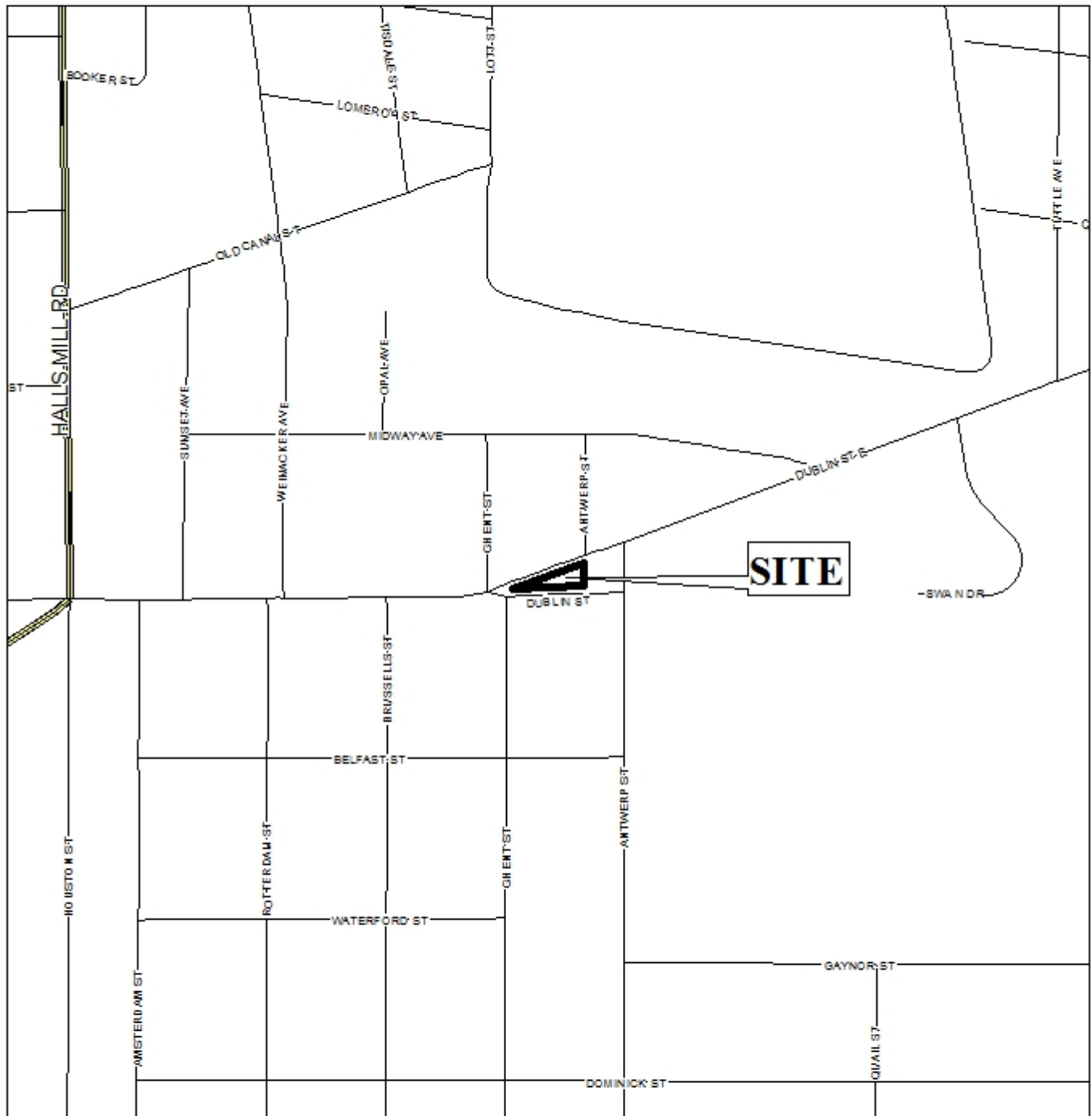
Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

With a waiver of Section V.D.2., the plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) revision of the plat to label the lot size in square feet and acres after required dedication, or provision of a table on the Final Plat with the same information;
- 2) revision of the plat to provide a corner radius dedication at the intersection of Dublin Street and Dublin Street East, with the size and location to be coordinated with Traffic Engineering and City Engineering;
- 3) placement of a note on the Final Plat stating that the site is limited to one curb cut to Dublin Street and one curb cut to Dublin Street East, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) revision of the plat to illustrate the 25' minimum building setback line along Dublin Street and Dublin Street East, or whatever may be approved by the Board of Zoning Adjustment, measured from any required dedications;
- 5) placement of a note on the Final Plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) subject to the Engineering comments: *(The following comments should be addressed prior to review, acceptance and signature by the City Engineer: 1) Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification*

- statements, legal description, required notes). 2) Provide a signature block and signature from the Traffic Engineering Department. 3) Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045). 4) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII);*
- 7) *subject to the Traffic Engineering comments: (Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. City of Mobile driveway standards are 24 foot wide with 20 foot radii. Changes must be made to the driveway as shown to meet the standards and eliminate backing into the right-of-way.); and*
- 8) full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 8 DATE June 6, 2013
APPLICANT Dublin Street Subdivision
REQUEST Subdivision



DUBLIN STREET SUBDIVISION



APPLICATION NUMBER 8 DATE June 6, 2013

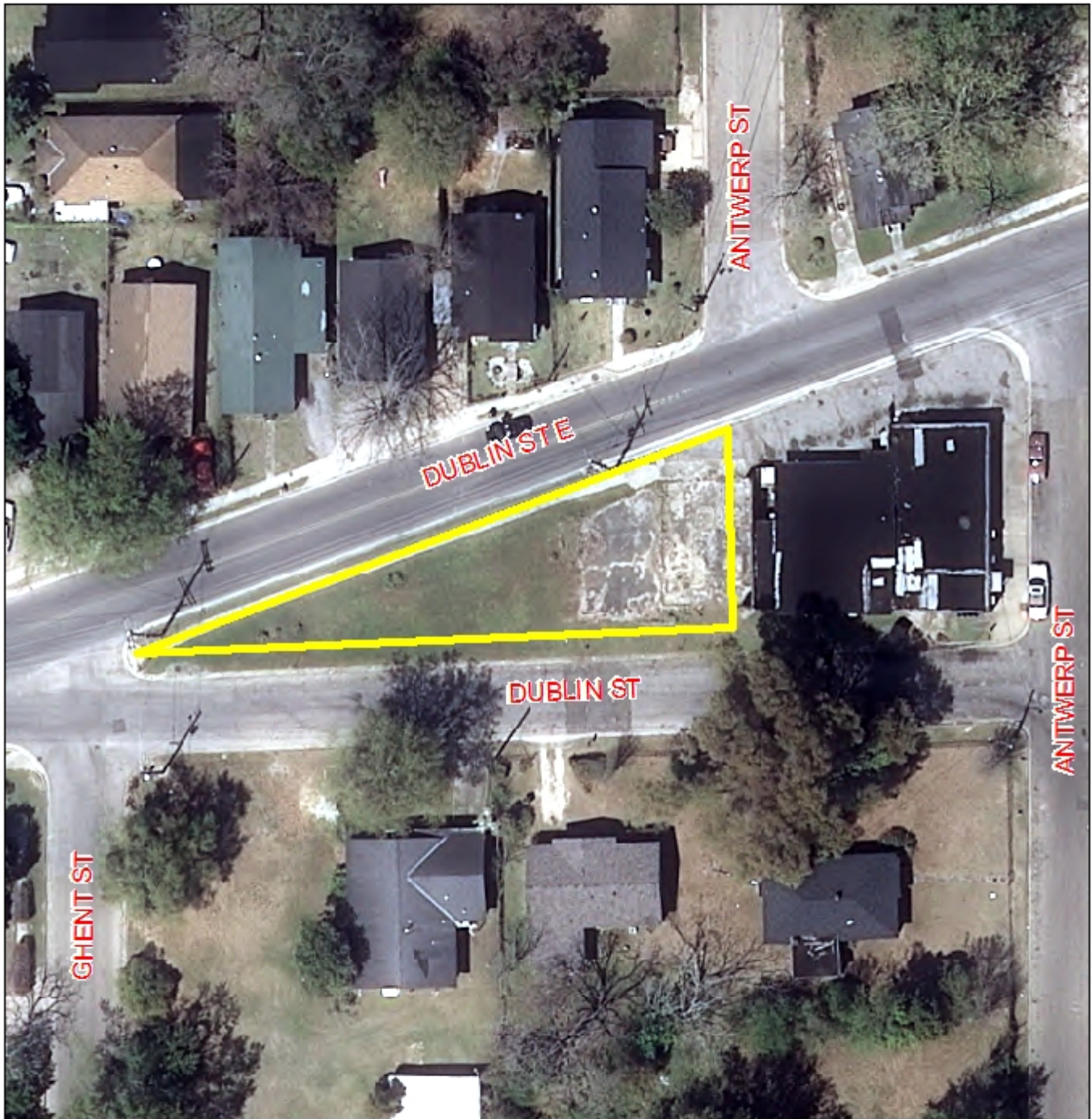
LEGEND

														
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

NTS



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