

CENTER-COX SUBDIVISION

Engineering Comments: It appears a portion of lot 9 may include City right-of-way; please confirm. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water & Sewer System Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 0.6± acre, 1 lot subdivision, which is located on the north side of Center Street, 85'± west of Lambert Avenue, extending to the west side of Lambert Avenue, 150'± north of Center Street, in city council district 2. The subdivision is served by city water and sanitary facilities.

The purpose of this application is to create one legal lot of record from two metes and bounds parcels: a legal lot of record and a metes and bounds parcel.

The site fronts both Center Street and Lambert Avenue which have 60-feet and 50-feet rights-of-way respectfully, compliant with the Major Street Plan. Therefore, no right-of-way dedication is required.

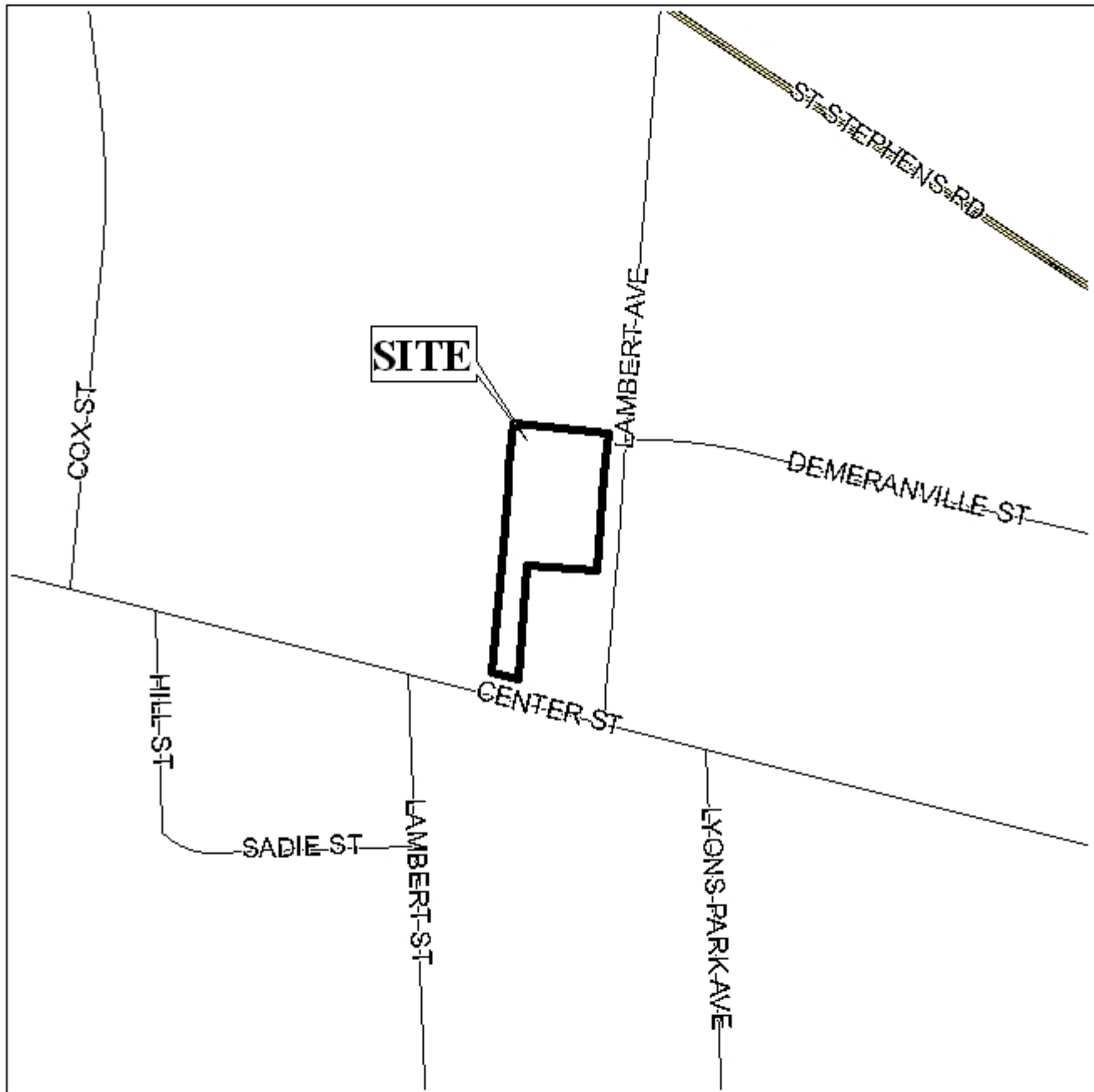
Since the site has approx. Thirty-nine linear feet of frontage along Center Street and 169 linear feet of frontage along Lambert Avenue.; a note should be placed on the final plat stating that the site is limited to one curb cut to each street, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

There is no depiction of the minimum 25ft building setback from Center Street. While the owner of the property, The University of South Alabama, may be exempt from our subdivision regulations, the setback should still be shown for other potential owners.

Based on the preceding, the plat meets the requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

1. the depiction on the final plat of the 25' front setback line along Center Street;
2. placement of a note on the final plat stating that the site is limited to one curb cut on each street, with the size, location, and design to be approved by Traffic Engineering, and conform to AASHTO standards.

LOCATOR MAP



APPLICATION NUMBER 8 DATE September 20, 2007

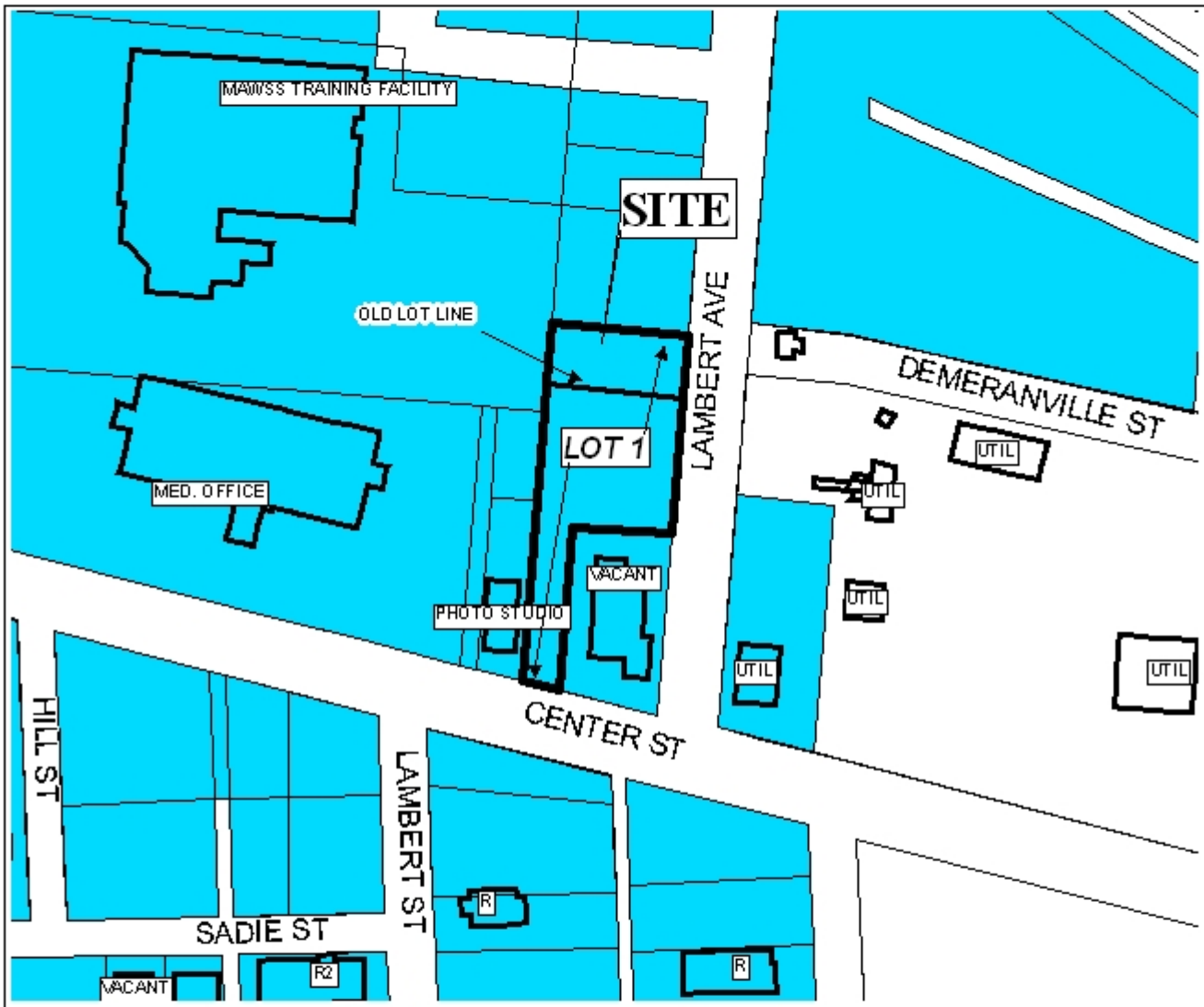
APPLICANT Center-Cox Subdivision

REQUEST Subdivision



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by commercial land use.

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APPLICANT Center-Cox Subdivision

REQUEST Subdivision

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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