

CAZALAS ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 0.8±-acre subdivision located at the Southwest corner of Homer Tipp Lane and Dauphin Island Parkway, within the Planning Jurisdiction. The applicant states the site is served by public water and individual septic systems.

The purpose of this application is to create two (2) legal lots of record from one (1) metes-and-bounds parcel.

It should be noted that Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services; and, to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The proposed lots each have frontage along Homer Tipp Lane, an unpaved minor street without curb and gutter requiring a 60' right-of-way. Proposed Lot 2 also has frontage along Dauphin Island Parkway which, at this location, is a minor street without curb and gutter, also requiring a 60' right-of-way. The plat illustrates a 50' right-of-way along Homer Tipp Lane, and a varying right-of-way along Dauphin Island Parkway. As such, revision of the plat to illustrate dedication sufficient to provide 30' from the centerlines of both Homer Tipp Lane and Dauphin Island Parkway should be required, if approved. Also, because it is substandard in terms of roadway width and surfacing, a note should be required on the Final Plat stating there shall be no future subdivision of either lot until Homer Tipp Lane is improved in width and paved in asphalt to Mobile County Engineering standards.

Revision of the plat to illustrate dedication of a 25' corner radius at the intersection of Homer Tipp Land and Dauphin Island Parkway, in compliance with Section V.D.6. of the Subdivision Regulations, should be required, if approved.

Both lots meet the minimum size requirements for lots served by public water and individual septic systems and are appropriately labeled in square feet and acres on the preliminary plat; however, the dedication of right-of-way may result in Lot 2 being less than 15,000 square-feet, which is the minimum size required for a lot with public water and an individual septic system. As such, the applicant must ensure that each lot will be at least 15,000 square-feet in size, after dedication. Also, the sizes of each lot should be retained in square-feet and acres on the Final

Plat, if approved; or, provision of a table on the Final Plat providing the same information may suffice.

If approved, revision of the plat to illustrate the 25' minimum building setback along Homer Tipp Lane and Dauphin Island Parkway should be required, per Section V.D.9. of the Subdivision Regulations.

As a means of access management, a note should be placed on the Final Plat stating Lot 1 is limited to its existing curb cut(s) to Homer Tipp Lane, and Lot 2 is limited to one (1) curb cut each to Homer Tipp Lane and Dauphin Island Parkway, with any changes in their sizes, locations, or designs to be approved by Mobile County Engineering and conform to AASHTO standards.

The site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

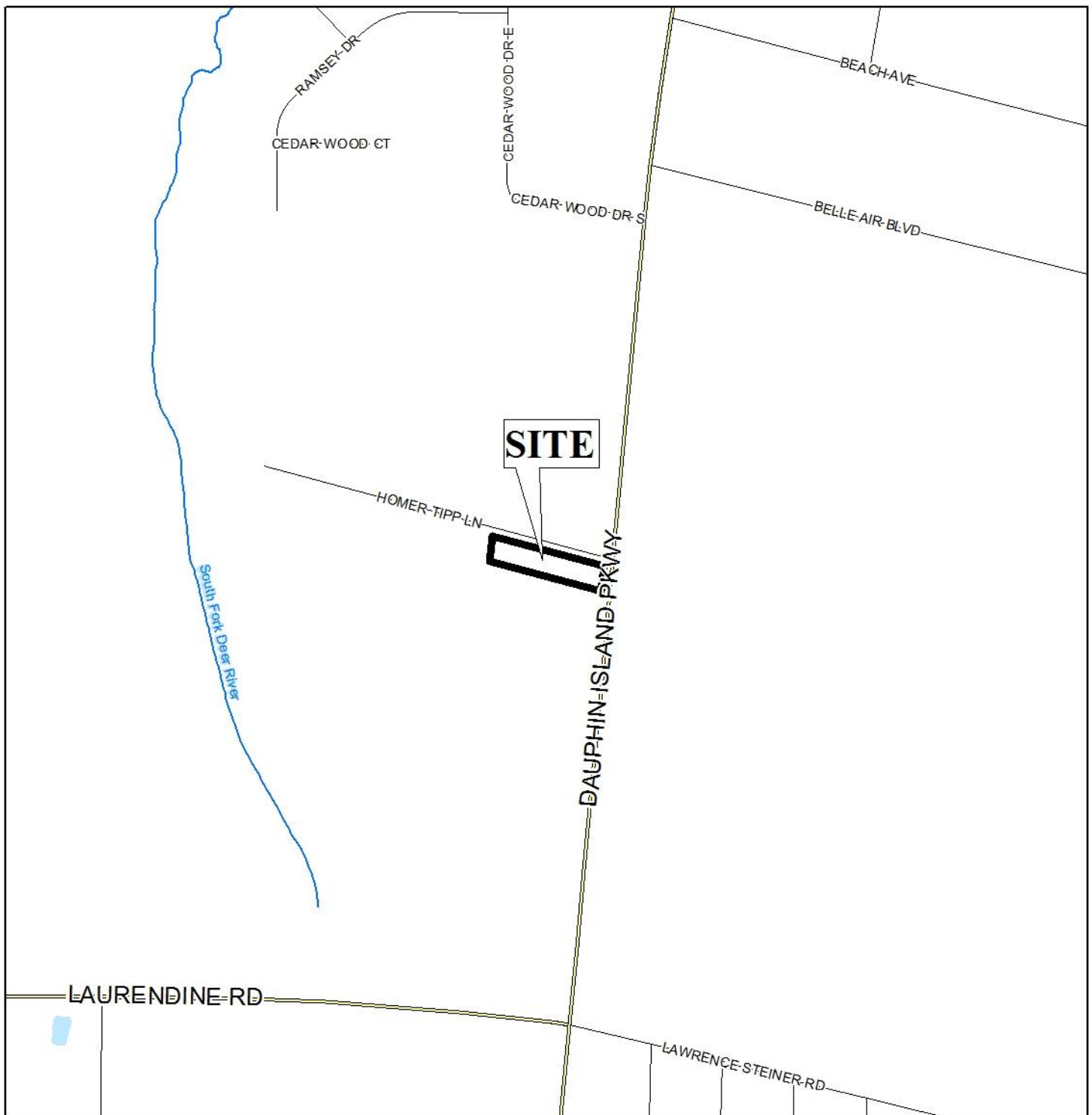
Finally, the site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *"Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits."* should be placed on the Final Plat, if approved.

Based on the preceding, the proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to illustrate dedication sufficient to provide 30' from the centerlines of both Homer Tipp Lane and Dauphin Island Parkway;
- 2) revision of the interior lot line to ensure each lot will be at least 15,000 square-feet in size after right-of-way dedication;
- 3) retention of the lot sizes in square feet and acres on the Final Plat, or provision of a table providing the same information;
- 4) revision of the plat to illustrate dedication of a 25' corner radius at the intersection of Homer Tipp Land and Dauphin Island Parkway, in compliance with Section V.D.6.;
- 5) revision of the plat to illustrate the 25' minimum setback line along all street frontages, in compliance with Section V.D.9.;
- 6) placement of a note on the Final Plat stating Lot 1 is limited to its existing curb cut(s) to Homer Tipp Lane, and Lot 2 is limited to one (1) curb cut each to Homer Tipp Lane and Dauphin Island Parkway, with any changes in their sizes, locations, or designs to be approved by Mobile County Engineering and conform to AASHTO standards;
- 7) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;

- 8) placement of a note on the Final Plat to comply with the Mobile County storm water and flood control ordinances: *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”*; and,
- 9) compliance with Fire Department comments: *“Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).”*

LOCATOR MAP



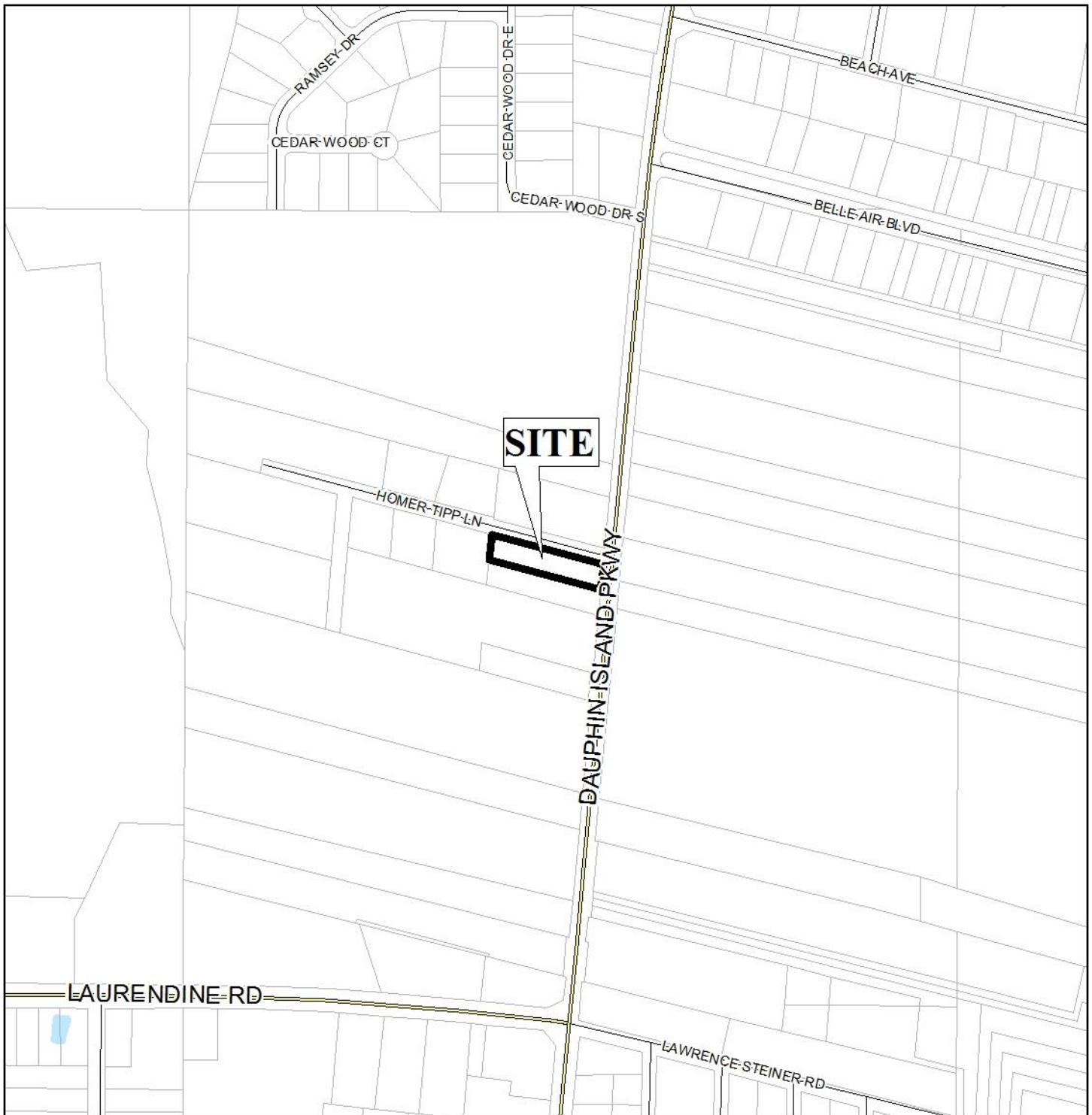
APPLICATION NUMBER 8 DATE September 6, 2018

APPLICANT Cazalas Estates Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



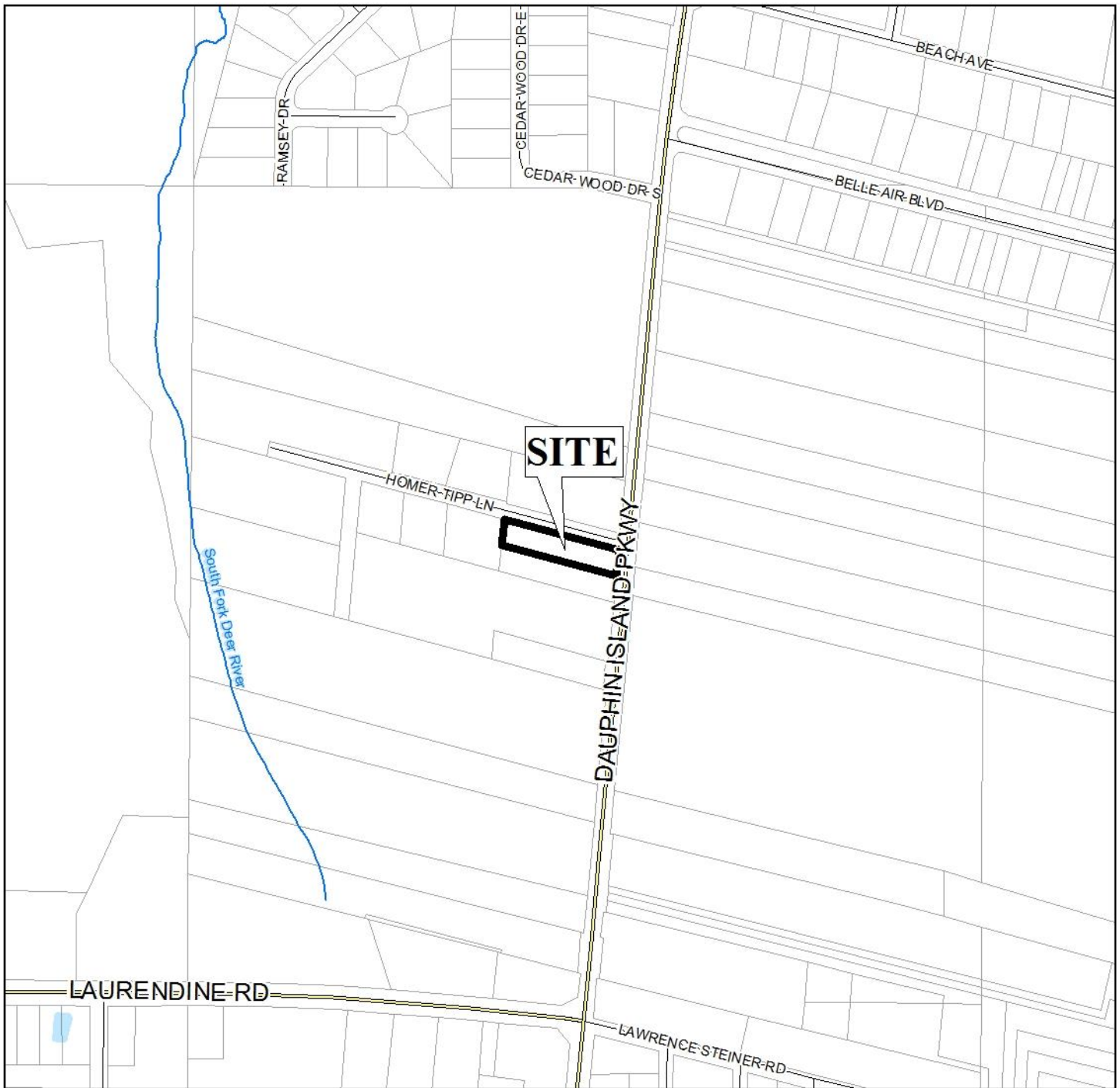
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APPLICANT Cazalas Estates Subdivision

REQUEST Subdivision



FLUM LOCATOR MAP



APPLICATION NUMBER 8 DATE September 6, 2018

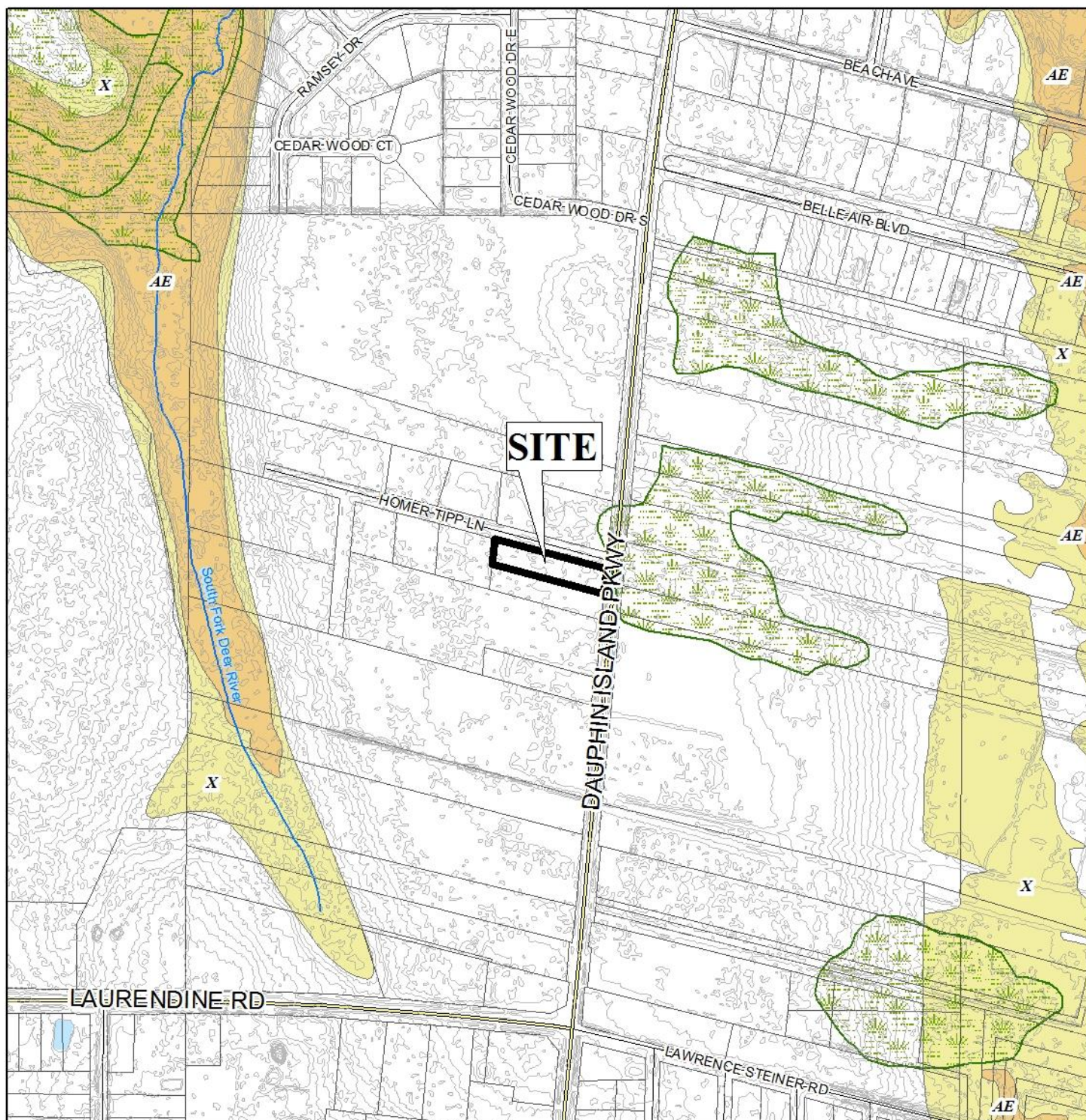
APPLICANT Cazalas Estates Subdivision

REQUEST Subdivision

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



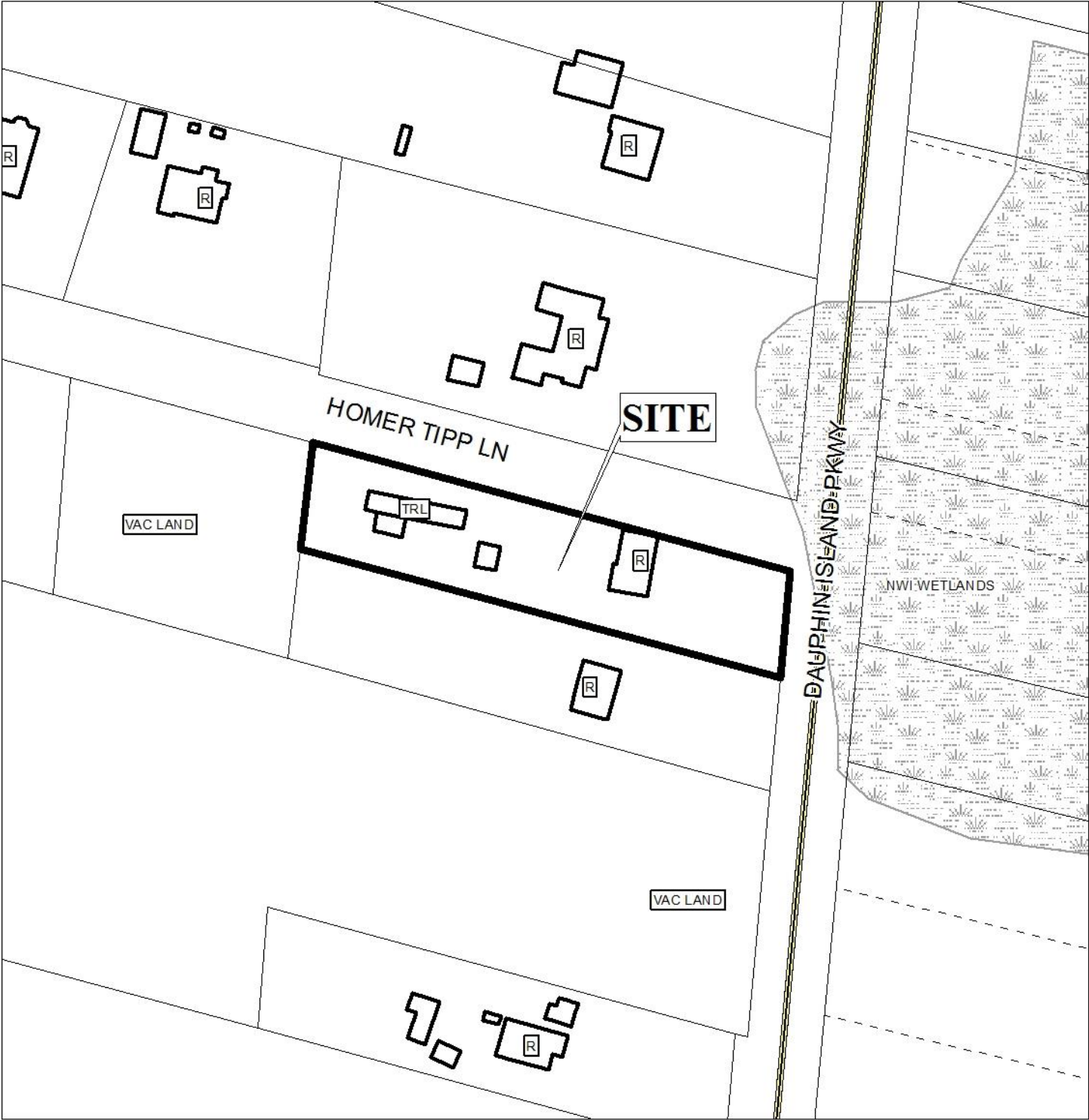
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APPLICANT Cazalas Estates Subdivision

REQUEST Subdivision



CAZALAS ESTATES SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



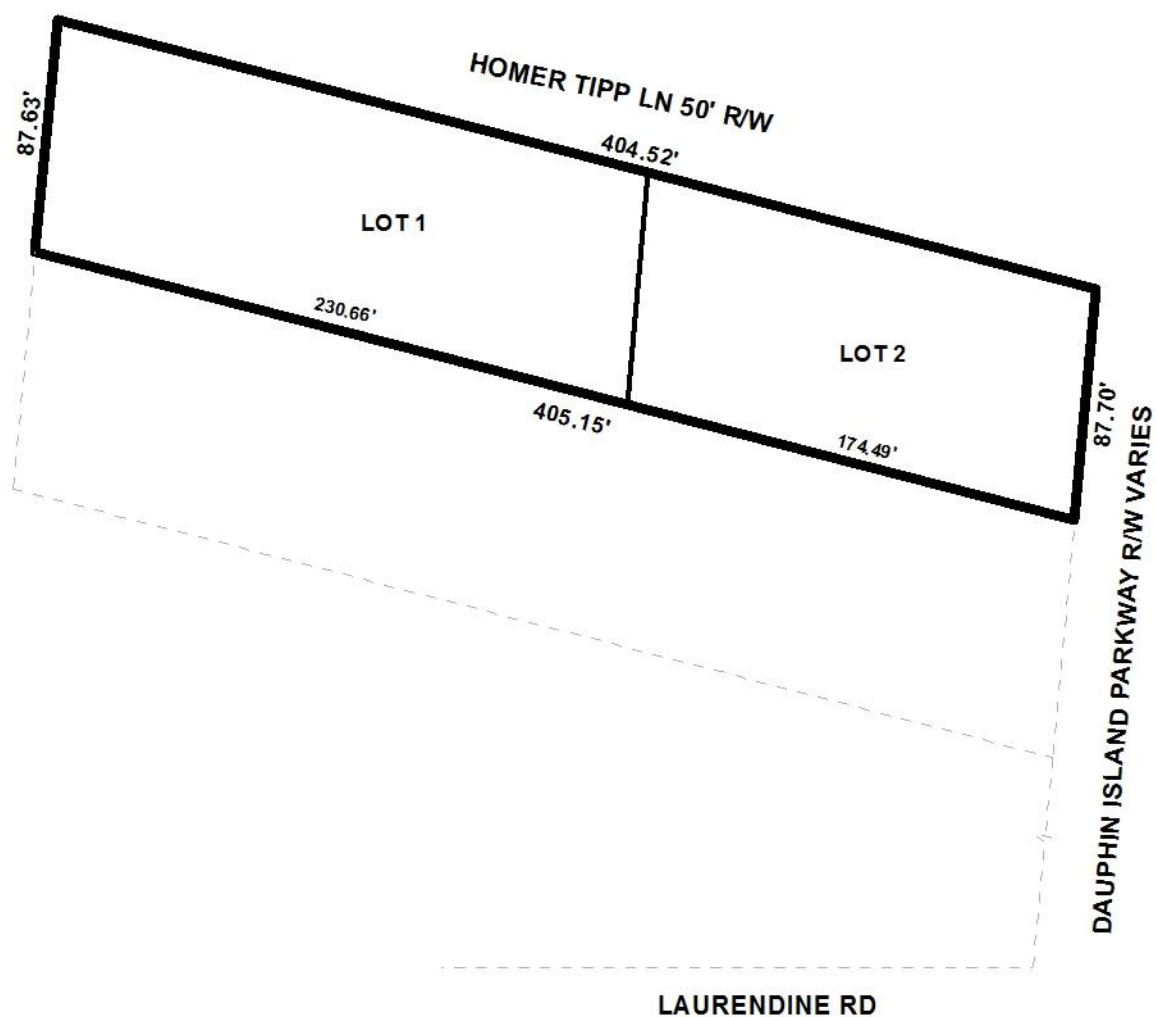
CAZALAS ESTATES SUBDIVISION



APPLICATION NUMBER 8 DATE September 6, 2018



DETAIL SITE PLAN



APPLICATION NUMBER 8 DATE September 6, 2018
APPLICANT Cazalas Estates Subdivision
REQUEST Subdivision

