

BELLINGRATH GARAGE SUBDIVISION

Engineering Comments: Must comply with all storm water and flood control ordinances. Cannot concentrate storm water runoff to an adjacent property without a release agreement, a private drainage easement or providing detention for a 100 year storm event with a two year release rate per the revised COM Storm Water Ordinance. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit. Need to verify that there is sufficient capacity for the receiving drainage system(s) to accept drainage from this property.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans. The twelve foot drive with the four foot radius is below minimum standards. Improvements should be made to increase the radius.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 1-lot, 0.3± acre subdivision which is located on the North side of Government Street, 430'± West of South Hallett Street, in Council District 2. The subdivision is served by public water and sanitary services.

The purpose of this application is to create a legal lot of record from an existing metes-and-bounds parcel. The parcel has apparently been reconfigured in the past without going through the subdivision process. In 2005, the existing garage structure on the site was relocated from the Greek Orthodox Church on Ann Street. It was originally part of the Walter Bellingrath home site before the residence was removed prior to construction of the church. The applicant wishes to use the structure for a residential duplex and has Use and Front Yard Setback Variances scheduled for the October Board of Zoning Adjustment meeting.

The proposed lot would be less than 60' wide at the building setback line and a waiver of Section V.D.2 of the Subdivision Regulations would be required. However, lots of substandard width is common of the surrounding neighborhood and older historic parts of the City in general.

The proposed subdivision has frontage on Government Street with a compliant 100' right-of-way; therefore, no dedication would be required. The plat does not illustrate the minimum front building setback line. Since the site is located within the Oakleigh Historic District, the Historic District Overlay setbacks would apply and a note should be required on the final plat stating such. However, in this instance, since the site has a pending Front Yard Setback Variance, the approved setback would supercede the recorded setback note. As a means of access management, a note should be required on the final plat limiting the lot to one curb cut to Government Street, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

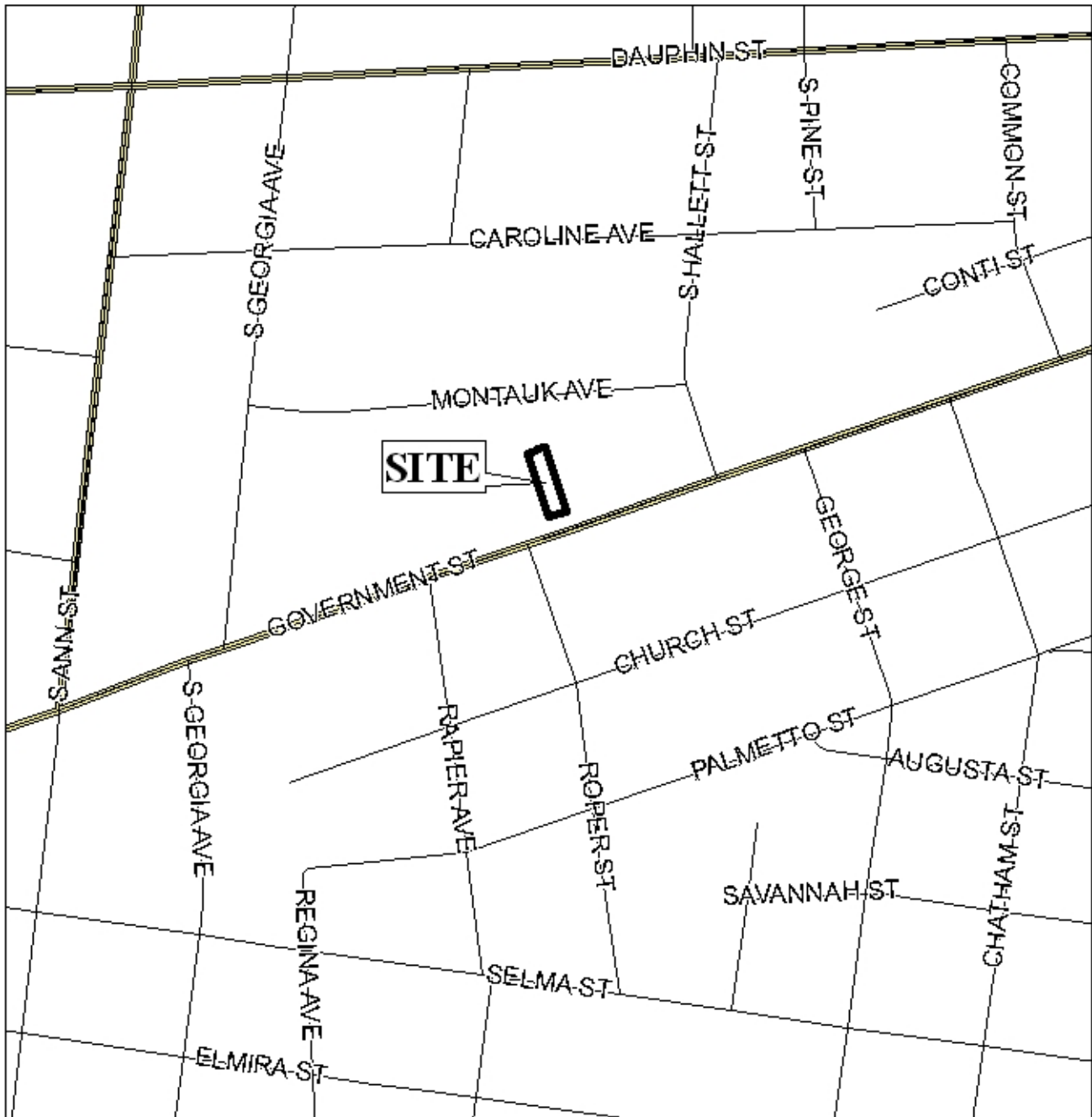
The lot is not labeled on the plat with its size; therefore, the plat should be revised to label the lot with its size in square feet, or a table should be provided furnishing the same information.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

With a waiver of Section V.D.2., the proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval subject to the following conditions:

- 1) placement of a note on the Final Plat stating that the front minimum building setback line is governed by the Historic District Overlay;
- 2) placement of a note on the Final Plat stating that the lot is limited to one curb cut to Government Street, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards with the existing substandard four foot radius curb cut to be revised to meet Traffic Engineering standards;
- 3) labeling of the lot with its size in square feet, or the provision of a table on the plat furnishing the same information;
- 4) placement of a note on the Final Plat stating that development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 5) subject to the Engineering Comments: *(Must comply with all storm water and flood control ordinances. Cannot concentrate storm water runoff to an adjacent property without a release agreement, a private drainage easement or providing detention for a 100 year storm event with a two year release rate per the revised COM Storm Water Ordinance. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit. Need to verify that there is sufficient capacity for the receiving drainage system(s) to accept drainage from this property).*

LOCATOR MAP



APPLICATION NUMBER 8 DATE October 2, 2008

APPLICANT Bellingrath Garage Subdivision

REQUEST Subdivision



BELLINGRATH GARAGE SUBDIVISION



APPLICATION NUMBER 8 DATE October 2, 2008

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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APPLICATION NUMBER 8 DATE October 2, 2008



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