

## **AZALEA PARK SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 2-lot, 22.7± acres subdivision which is located at 9486 Nursery Road (North side of Nursery Road, extending North to the South terminus of Azalea Park Court). The subdivision is served by public water and public sanitary sewer (South Alabama Utilities).

The purpose of this subdivision is to divide an existing metes and bounds parcel, which has existed since prior to 1984, into two legal lots of record

The site fronts Nursery Road to the South, and Azalea Park Court to the North. Nursery Road shows a right-of-way of 80-feet which is more than sufficient for a minor street. Azalea Park Court is a minor street constructed to county standards with a sufficient 50-foot right-of-way. No further dedication of right-of-way should be required. The proposed Lot 1 has just over 262-feet of public road frontage along Nursery Road. The proposed Lot 2 has 65-feet of public road frontage along Nursery Road (which narrows to 30-feet at one point) and 50-feet of public road frontage along the cul-de-sac at Azalea Park Court.

The plat illustrates that wetlands are present on the property, and thus some parts of the site may be considered environmentally sensitive., therefore, approvals from federal, state, and local agencies will be required prior to the issuance of any permits.

The access from Nursery Road for the proposed Lot 2 cuts through the wetland delineated area. In order to preserve the integrity of the wetlands, access to Nursery Road from the proposed Lot 2 should be denied. As the proposed Lot 2 has sufficient frontage along the cul-de-sac of Azalea Park Court, and because the lots with frontage along Azalea Park Court were developed with the intent that they would be commercial lots, the impact of the proposed Lot 2 having its access point onto Azalea Park Court should be negligible. The proposed Lot 2 should be limited to one curb cut onto Azalea Park Court, with the size, location, and design to be coordinated with the Mobile County Engineering Department. The proposed Lot 1 should be limited to one curb cut onto Nursery Road, with the size, location, and design to be coordinated with the Mobile County Engineering Department.

The 25-foot minimum building setback is not shown on the plat. The building setback should be shown for each lot at all street frontages per Section V.D.9 of the Subdivision Regulations.

This site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed

property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

The plat shows each lot with size in acres. This should be revised to show lot size in square feet, or a table provided on the plat with the same information.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions:

- 1) depiction of the 25-foot minimum building setback each lot at all street frontages per Section V.D.9 of the Subdivision Regulations;
- 2) provision of a note on the final plat stating that Lot 2 is limited to one curb cut onto Azalea Park Court, with the size, location, and design to be coordinated with the Mobile County Engineering Department, and Lot 1 is limited to one curb cut onto Nursery Road, with the size, location, and design to be coordinated with the Mobile County Engineering Department;
- 3) provision of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations;
- 4) provision of a note should be placed on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering; and
- 5) labeling of each lot in square feet, or provision of a table with the same information.

# LOCATOR MAP



APPLICATION NUMBER 8 DATE June 21, 2007

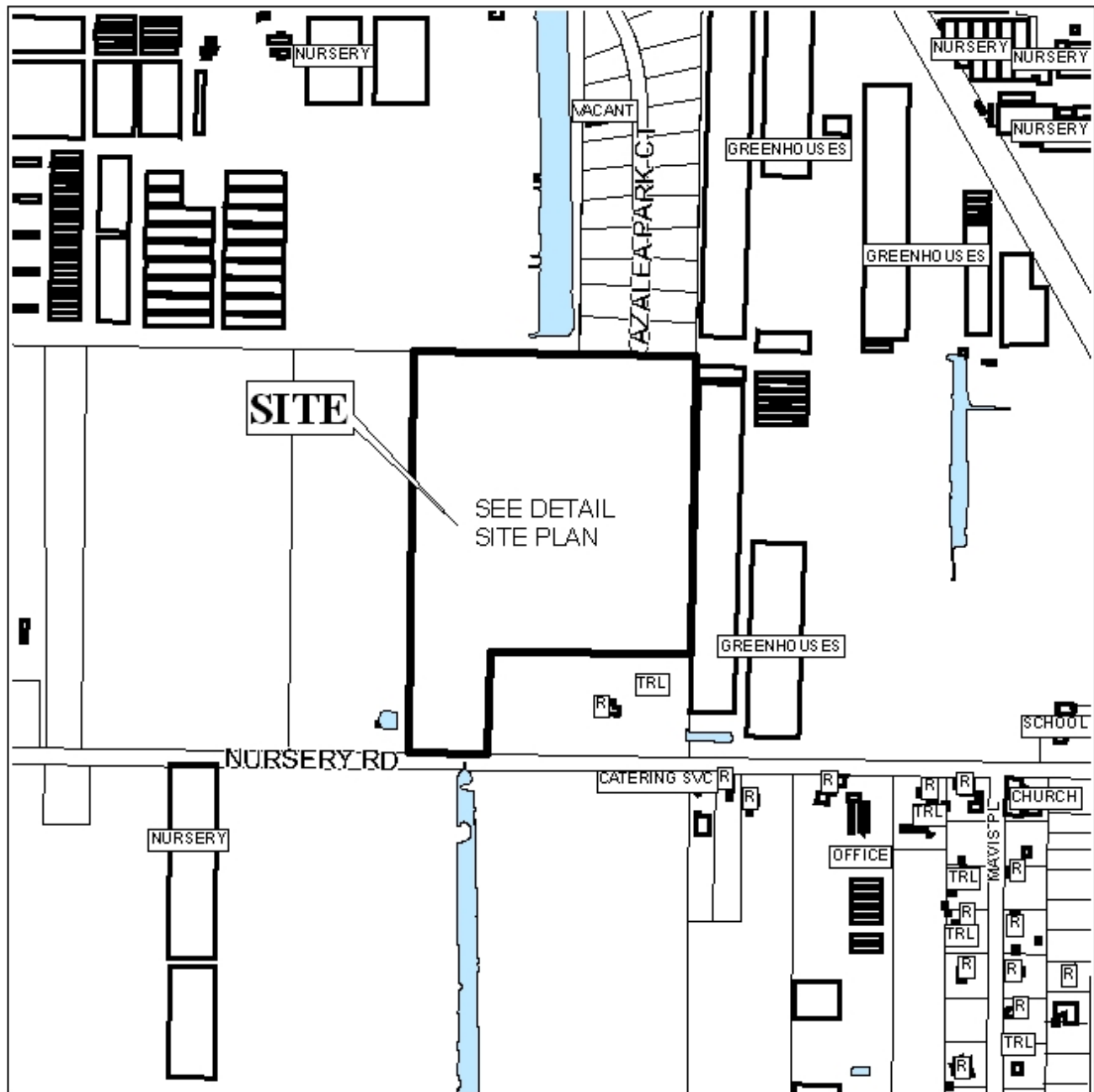
APPLICANT Azalea Park Subdivision

REQUEST Subdivision



NTS

# AZALEA PARK SUBDIVISION



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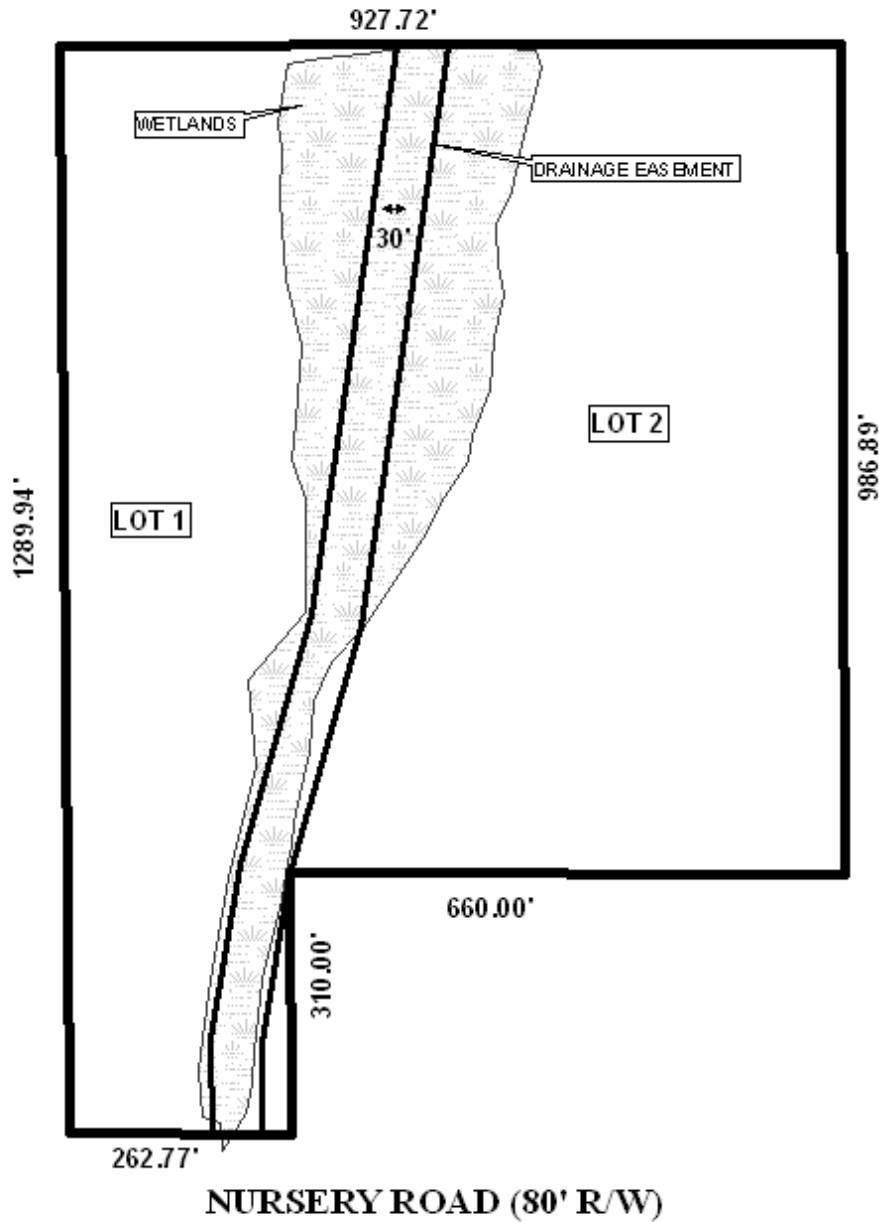
LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2		



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## DETAIL SITE PLAN



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