

## **ARNOLD SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- E. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southeast corner of the proposed LOT.
- F. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- G. Show and label all flood zones.
- H. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- I. Provide and label the monument set or found at each subdivision corner.
- J. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- K. Provide the Surveyor's Certificate and Signature.
- L. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- M. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- N. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of

Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

The plat illustrates the proposed 0.2± acre, 1-lot subdivision which is located on Northwest corner of St. Michael Street and North Warren Street, and is in Council District 2. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to combine two metes-and-bounds parcels into one legal lot of record. The site also has a pending bulk variance application on the Board of Zoning Adjustment's March 2, 2015 agenda.

The site has frontage onto two streets: St. Michael Street and North Warren Street. Both streets are considered minor streets, and both meet the minimum right-of-way width of 50 feet for streets with curb-and-gutter.

The site currently has two curb-cuts onto North Warren Street, and one curb-cut onto St. Michael Street. It should be noted that the Zoning Ordinance allows one curb-cut per street frontage within the Downtown Development District. The size, design and location of all curb-cuts that will remain, be modified or added should be coordinated with Traffic Engineering, with all unused curb-cuts to be removed during site redevelopment. All new or modified curb-cuts should conform to AASHTO standards and the Downtown Development District requirements.

The 25-foot minimum building setback line, required in Section V.D.9., is not shown on the preliminary plat. As the site is located within the Downtown Development District, which has no minimum building setbacks, it is recommended that the Commission consider waiving Section V.D.9.

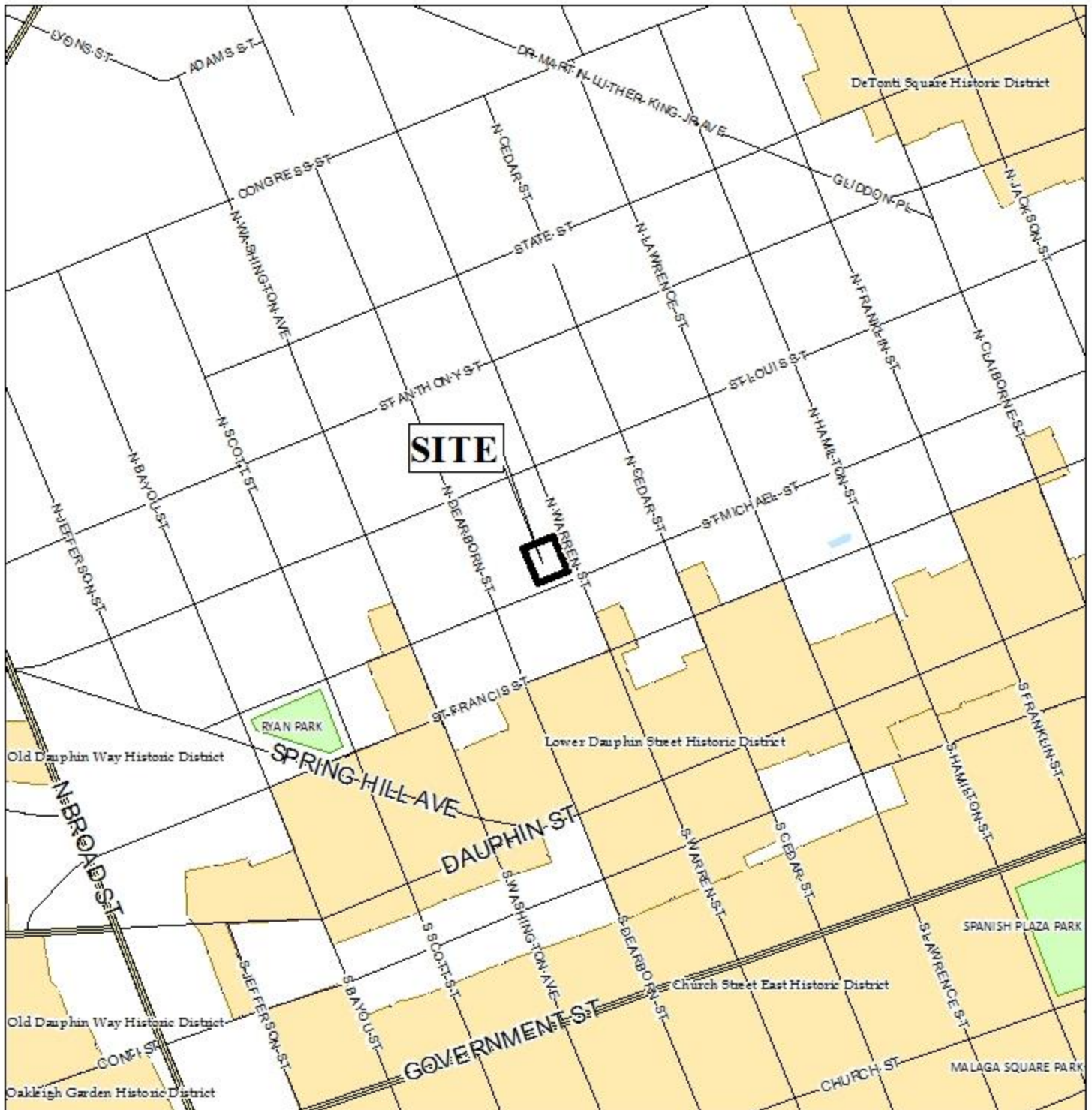
The proposed lot size is not depicted on the preliminary plat. The Final Plat should depict the lot size in square feet and acres, if approved.

Based upon the preceding, and with a waiver of Section V.D.9. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that the lot is limited to one curb-cut per frontage with size, design and location of all curb-cuts that will remain, be modified or added should be coordinated with Traffic Engineering, with all unused curb-cuts to be removed during site redevelopment.;
- 2) placement of a note on the Final Plat stating that all new or modified curb-cuts shall conform to AASHTO standards and the Downtown Development District requirements;
- 3) the labeling of the lot with its size in square feet, or placement of a table on the plat with the same information;
- 4) compliance with Engineering comments, as applicable (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current*

- Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. E. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southeast corner of the proposed LOT. F. Provide a written legal description for the proposed subdivision and matching bearing and distance labels. G. Show and label all flood zones. H. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. I. Provide and label the monument set or found at each subdivision corner. J. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. K. Provide the Surveyor's Certificate and Signature. L. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. M. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. N. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);*
- 5) *compliance with Traffic Engineering comments, as applicable (Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
  - 6) *compliance with Urban Forestry comments, as applicable (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).); and*
  - 7) *compliance with Fire comments, as applicable (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.).*

# LOCATOR MAP



APPLICATION NUMBER 8 DATE March 5, 2015

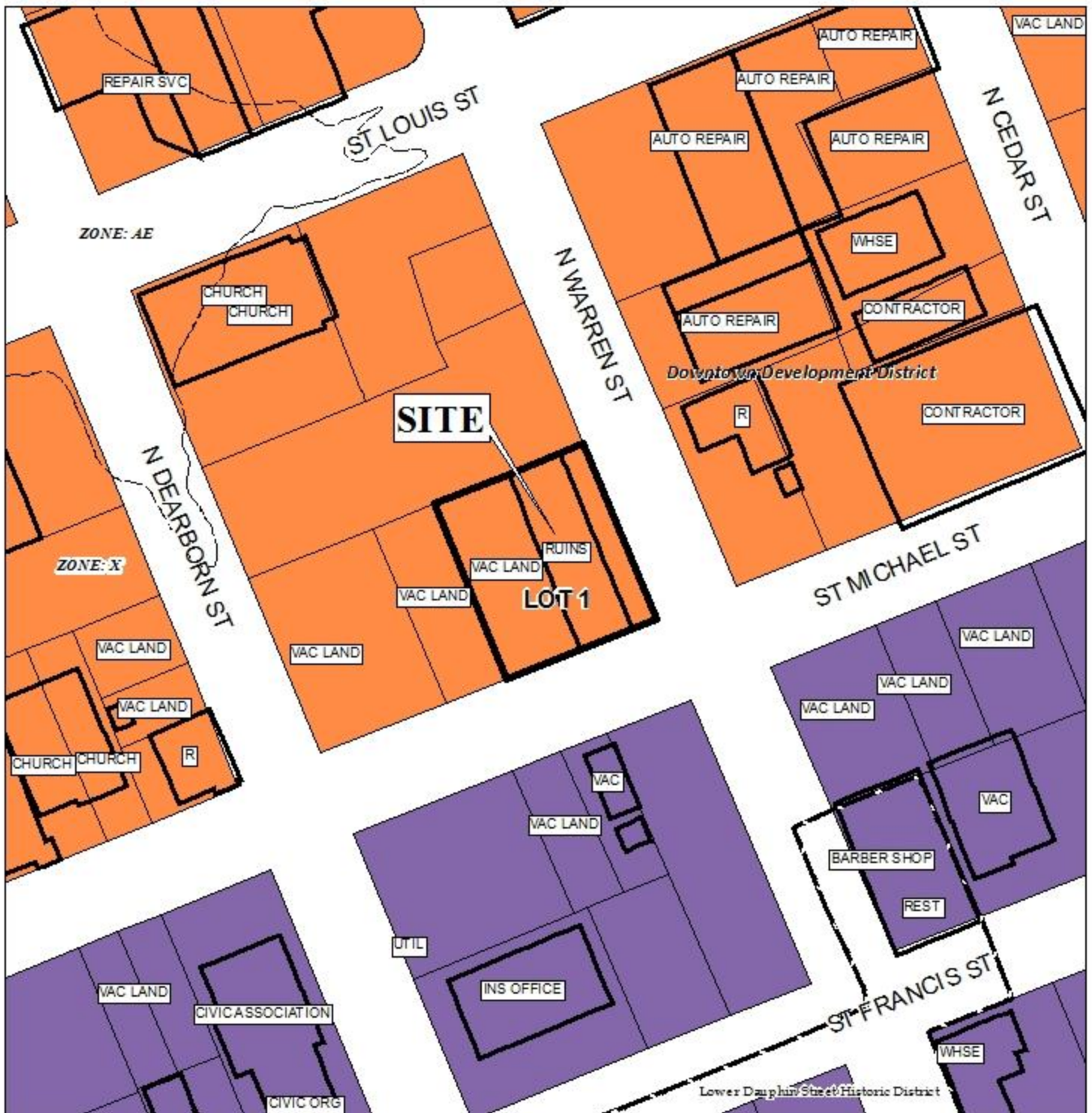
APPLICANT Arnold Subdivision

REQUEST Subdivision





# ARNOLD SUBDIVISION



APPLICATION NUMBER 8 DATE March 5, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





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