

AIRMEN ESTATES SUBDIVISION, FIRST ADDITION, **REVISED**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 11.8± acre subdivision which is located on the North side of Airport Boulevard, 2/10 mile± East of Wild Flower Drive West. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by city water and individual septic tanks. The purpose of this application is to relocate the interior lot line between two (2) legal lots of record.

The site was last before the Planning Commission in 2014, when a 2-lot subdivision request was approved.

The proposed lots front Airport Boulevard, a major street on the Major Street Plan that requires a 100' right-of-way width. The preliminary plat provides an 80' right-of-way width for Airport Boulevard. The preliminary plat illustrates a 10' strip to be dedicated to provide 50' from the centerline of Airport Boulevard. If approved, the dedication should be retained on the Final Plat. Dedication was required with the 2014 application, however, seven copies of the Final Plat were never provided, so Staff cannot determine if dedication is again required.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lots exceed the 15,000 square foot minimum lot size requirement for lots served by public water and individual septic tanks. The lot size information is provided in both square feet and acres on the preliminary plat and should be retained on the Final Plat, if approved.

The proposed Lot B appears to be used commercially, while the proposed Lot A appears to be used residentially. The preliminary plat provides a note stating "A 10' planting strip or a 6' wood fence will be required in the area where Lot "B" abuts residential property as long as Lot "B" is being used commercially."

The proposed Lot B is a flag lot however, the Planning Commission approved a similar "flag-shaped" configuration for Lot B at its September 4, 2014 meeting, therefore a waiver of Section V.D.I. of the Subdivision Regulations may be appropriate.

A 40' foot minimum building setback line is illustrated on the preliminary plat along the Airport Boulevard for the proposed Lot A and, for the proposed Lot B where the lot is at least 60' wide. If approved, the minimum building setback lines for both lots should be retained on the Final Plat.

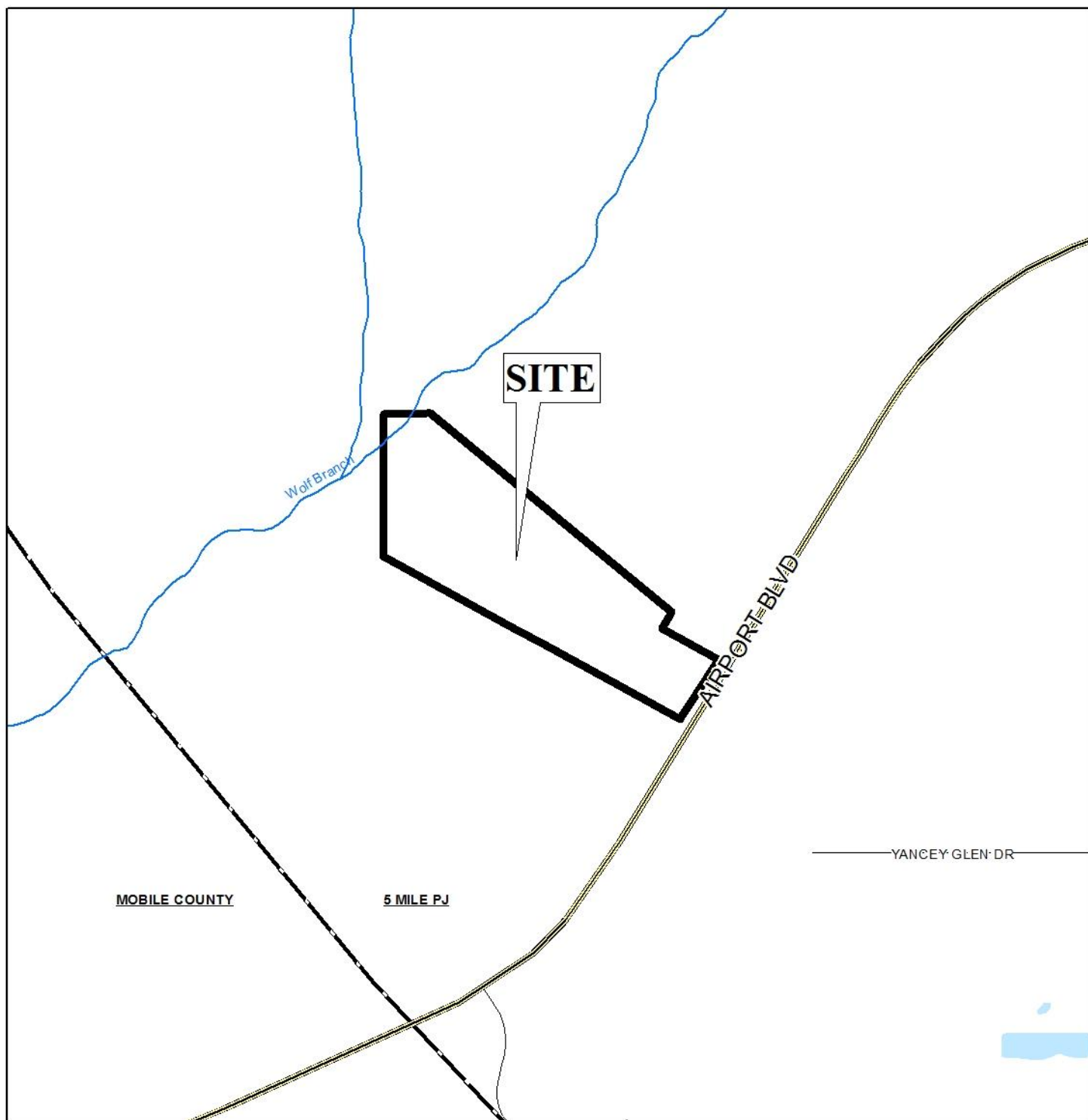
As a means of access management, a note should be placed on the Final Plat, if approved, stating that Lot A and Lot B are limited to their existing curb cuts to Airport Boulevard, with changes in the size, design and location of the curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based upon the preceding and a waiver of Section V.D.I. of the Subdivision Regulations, this application is recommended for Tentative Approval subject to the following conditions:

- 1) Retention of dedication sufficient to provide 50' from the centerline for Airport Boulevard or removal of the dedication note if the right-of-way was provided with the 2014 approval;
- 2) Retention of the lot size information in both square and in acres on the Final Plat;
- 3) Retention of at least a 25' minimum building setback line along the Airport Boulevard;
- 4) Placement of a note on the Final Plat stating that Lot 1 and Lot 2 are limited to their existing curb cuts to Airport Boulevard, with changes in the size, design and location of the curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 6) Compliance with Engineering Comments and placement as a note on the Final Plat: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);* and
- 7) Compliance with Fire Comment: *(Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC). and:*
- 8) Provision of 7 copies of the Final Plat for the Subdivision approved by the Planning Commission for this site in 2014, if the plat has been recorded, prior to the signing of the plat for the current request.

LOCATOR MAP



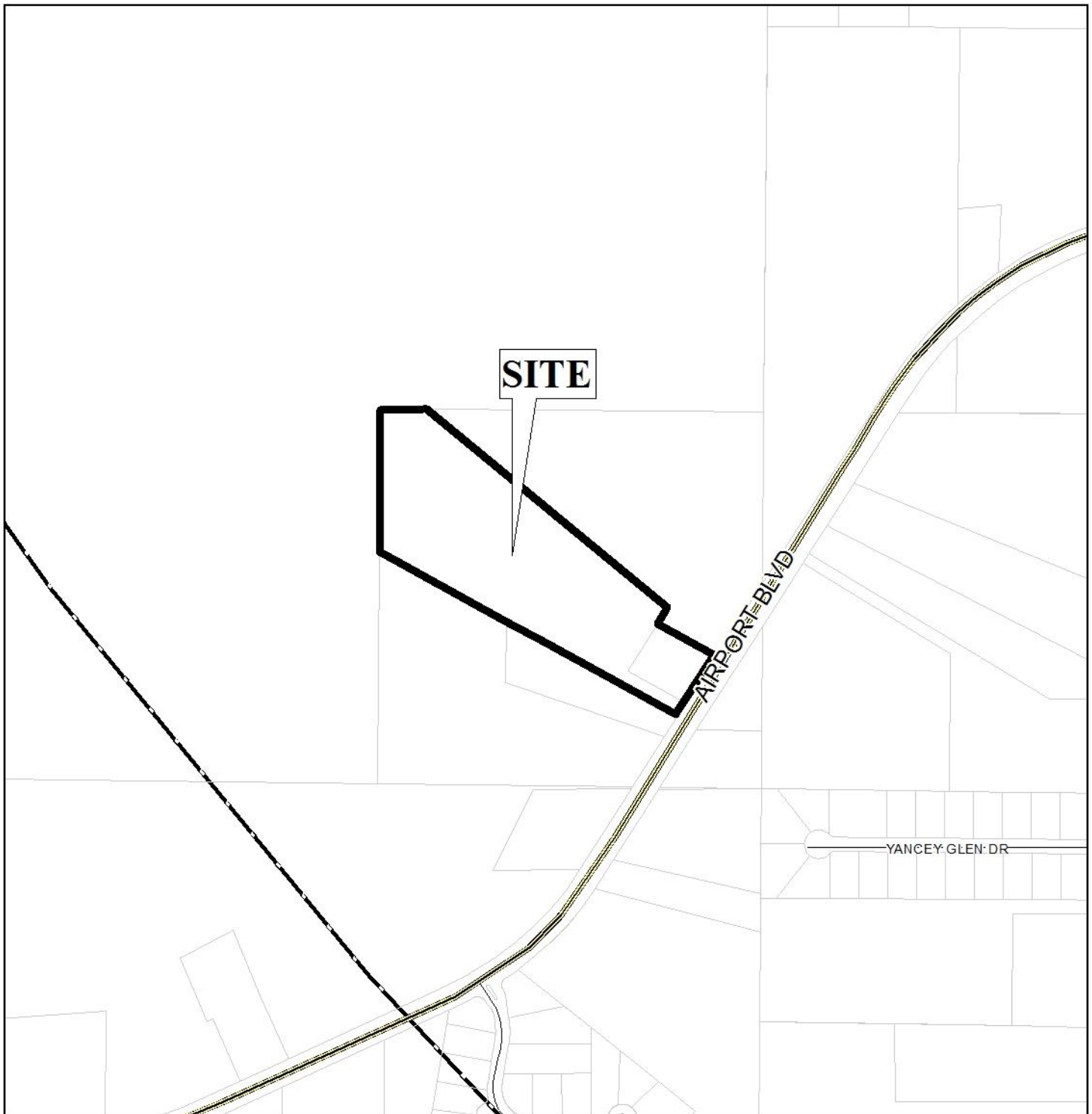
APPLICATION NUMBER 8 DATE May 18, 2017

APPLICANT Airmen Estates Subdivision, First Addition, Revised

REQUEST Subdivision



LOCATOR ZONING MAP



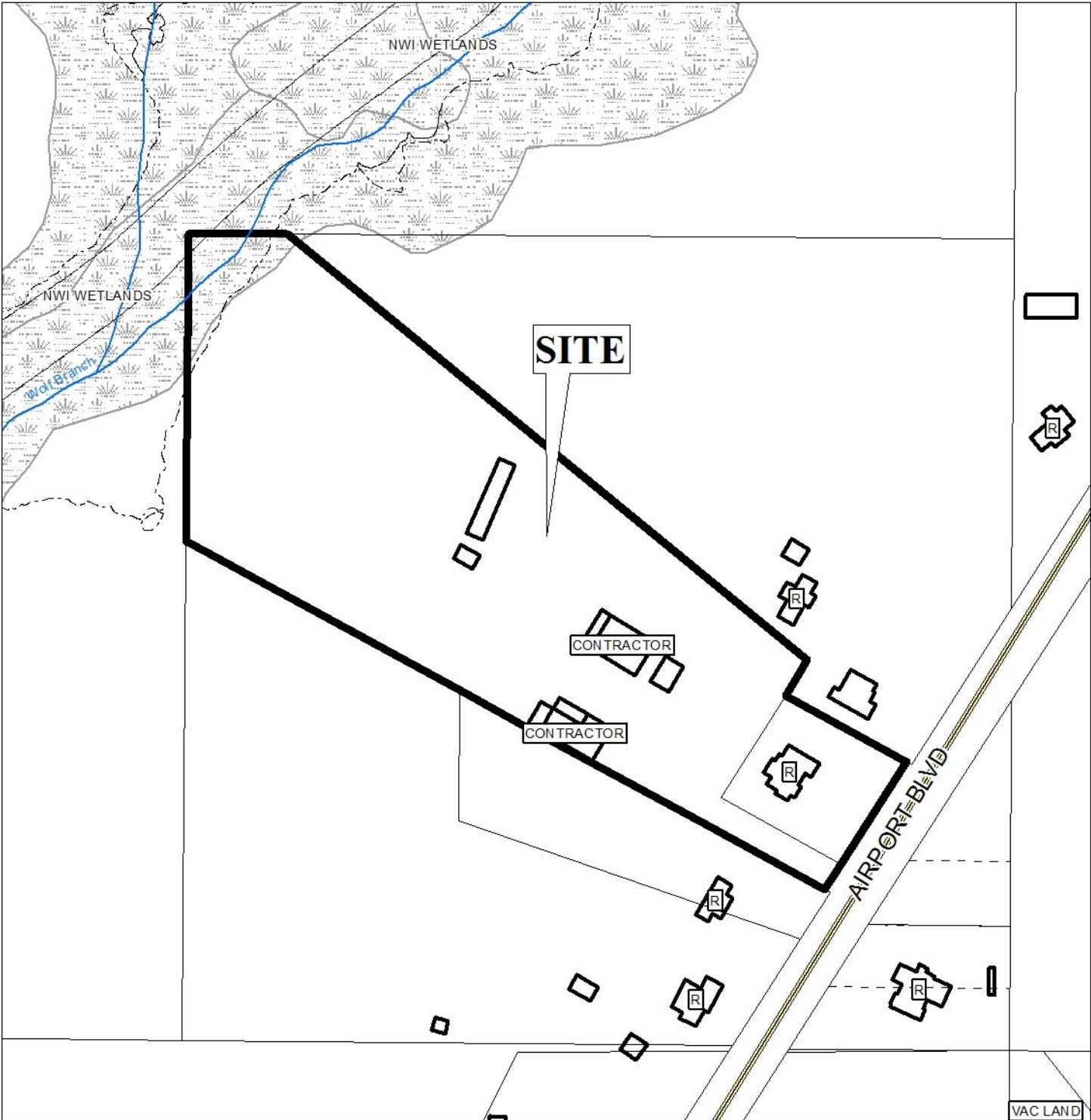
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REQUEST Subdivision



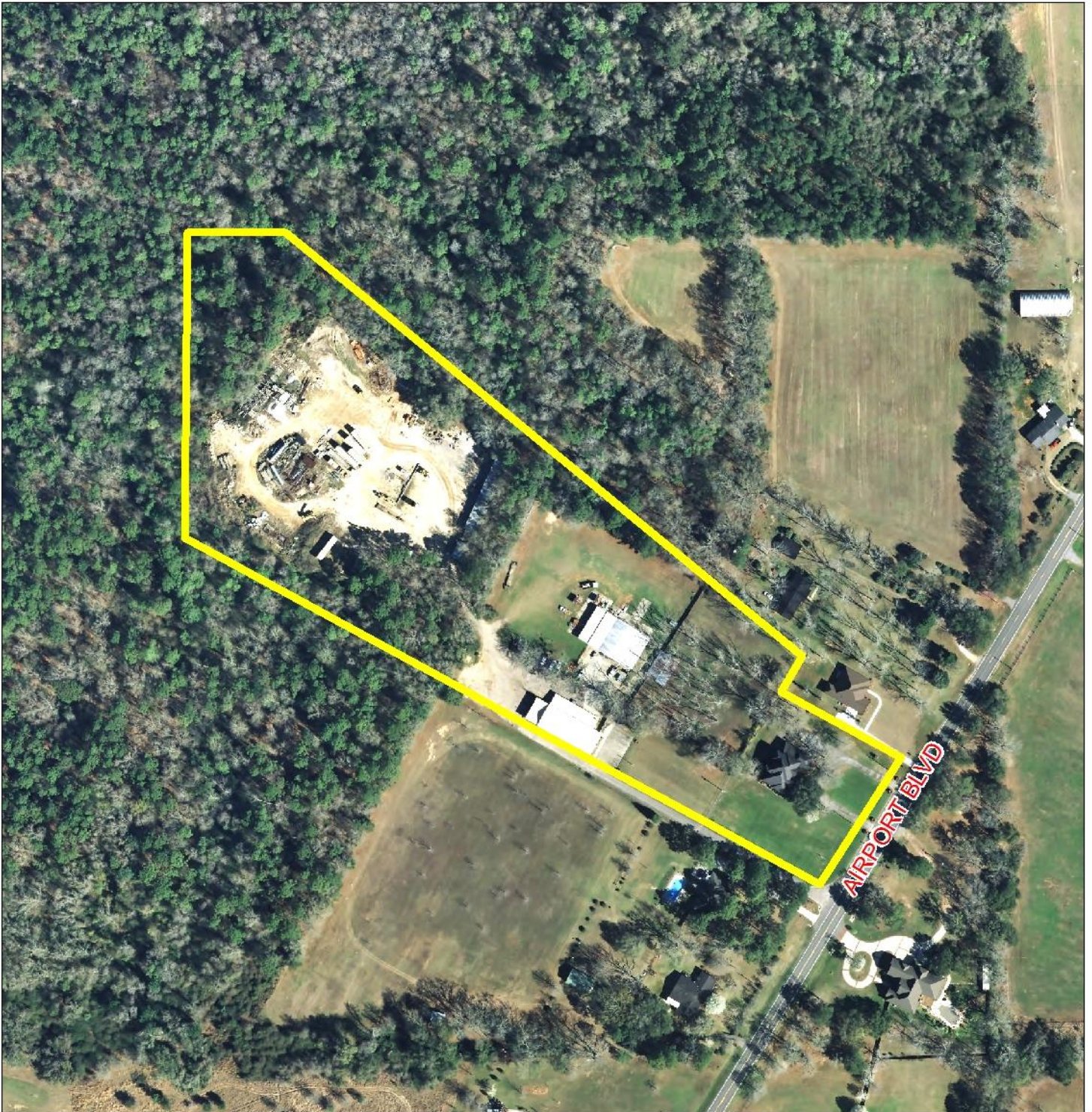
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|--------------------|-----|------|------|-----|--------------|-------|
| APPLICATION NUMBER | | 8 | DATE | | May 18, 2017 | |
| R-A | R-3 | T-B | B-2 | B-5 | MUN | SD-WH |
| R-1 | R-B | B-1 | B-3 | I-1 | OPEN | T3 |
| R-2 | H-B | LB-2 | B-4 | I-2 | SD | T4 |
| | | | | | | T5.1 |
| | | | | | | T5.2 |
| | | | | | | T6 |



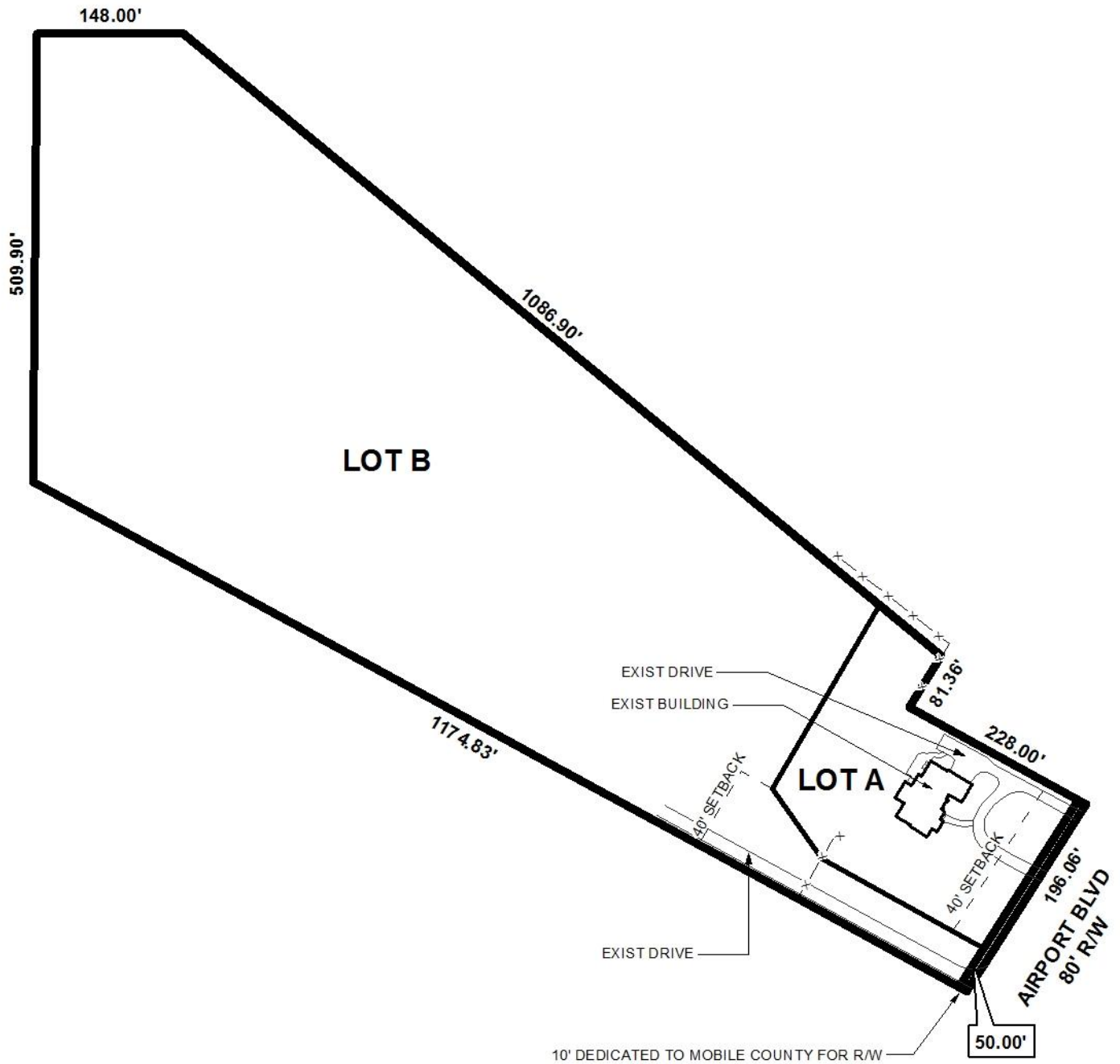
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DETAIL SITE PLAN



APPLICATION NUMBER 8 DATE May 18, 2017
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