

**PLANNING APPROVAL  
& SUBDIVISION STAFF REPORT****Date: September 15, 2005**

<b><u>NAME</u></b>	Volunteers of America Southeast
<b><u>SUBDIVISION NAME</u></b>	VOA Veterans Program Subdivision
<b><u>LOCATION</u></b>	1507 Spring Hill Avenue (South side of Spring Hill Avenue, 70'± East of Catherine Street)
<b><u>CITY COUNCIL DISTRICT</u></b>	District 2
<b><u>PRESENT ZONING</u></b>	B-1, Buffer Business, and B-2, Neighborhood Business
<b><u>AREA OF PROPERTY</u></b>	0.88± acres
<b><u>CONTEMPLATED USE</u></b>	Homeless shelter
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Immediate
<b><u>ENGINEERING COMMENTS</u></b>	Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<b><u>TRAFFIC ENGINEERING COMMENTS</u></b>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Driveway width should be a minimum of twenty-four feet. If the Catherine Street drive is two-way, it should be a minimum of twenty-four feet wide, and the Spring Hill drives should be signed and marked as one-way drives.
<b><u>URBAN FORESTRY COMMENTS</u></b>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).
<b><u>REMARKS</u></b>	The applicant is requesting Planning Approval, to allow a homeless shelter in a B-2, Community Business, district, and Subdivision Approval, to create a one-lot subdivision from three metes and bounds parcels. The site is served by public water and sanitary sewer.

The site fronts Spring Hill Avenue, a Major Street with a 109-foot right-of-way, and Catherine Street, which has a substandard right-of-way of 34 feet at the site. Thus sufficient dedication would be required to provide 25 feet from the centerline of Catherine Street.

Regarding the proposed Subdivision Approval, the applicant proposes to create one lot from three metes and bounds parcels. There is presently a split-zoning situation at the site, with two parcels zoned B-2, Neighborhood Business, and one zoned B-1, Buffer Business. Prior to final subdivision approval, the entire site must be rezoned to a single zoning classification. The parcel presently zoned B-1 is landlocked; thus its inclusion in the subdivision application is encouraged. Finally, the plat does not show the 25-foot minimum building setback, and does not show the curb cut to Catherine Street, both of which would be required on the final plat.

Regarding the proposed Planning Approval, the applicant proposes to remodel an existing building for use as a homeless shelter for veterans. The Zoning Ordinance allows an "Emergency Shelter Facility" to provide "temporary housing for persons otherwise homeless" in the B-1 and B-2 zones, subject to Planning Approval. The application describes a rehabilitation program intended to reintegrate residents into society. The building will house 36 people at a time.

The site plan illustrates one, two-way, curb cut to Catherine Street (16 feet wide) and two, one-way, curb cuts to Spring Hill Avenue (20 feet and 17 feet wide, respectively). Based on Traffic Engineering comments, the Catherine Street drive should be widened to 24 feet, and the Spring Hill Avenue drives should be signed and marked as one-way drives. The site should be limited to these existing three curb cuts. The application states that "unnecessary blacktop" will be removed and replaced with landscaping, and proposes 36 parking spaces, as required. Parking spaces are not illustrated on the site plan, but must comply with the standards of the Zoning Ordinance (Section VI.A). Furthermore, landscaping and tree planting must conform to the requirements of the Ordinance, and be coordinated with Urban Development.

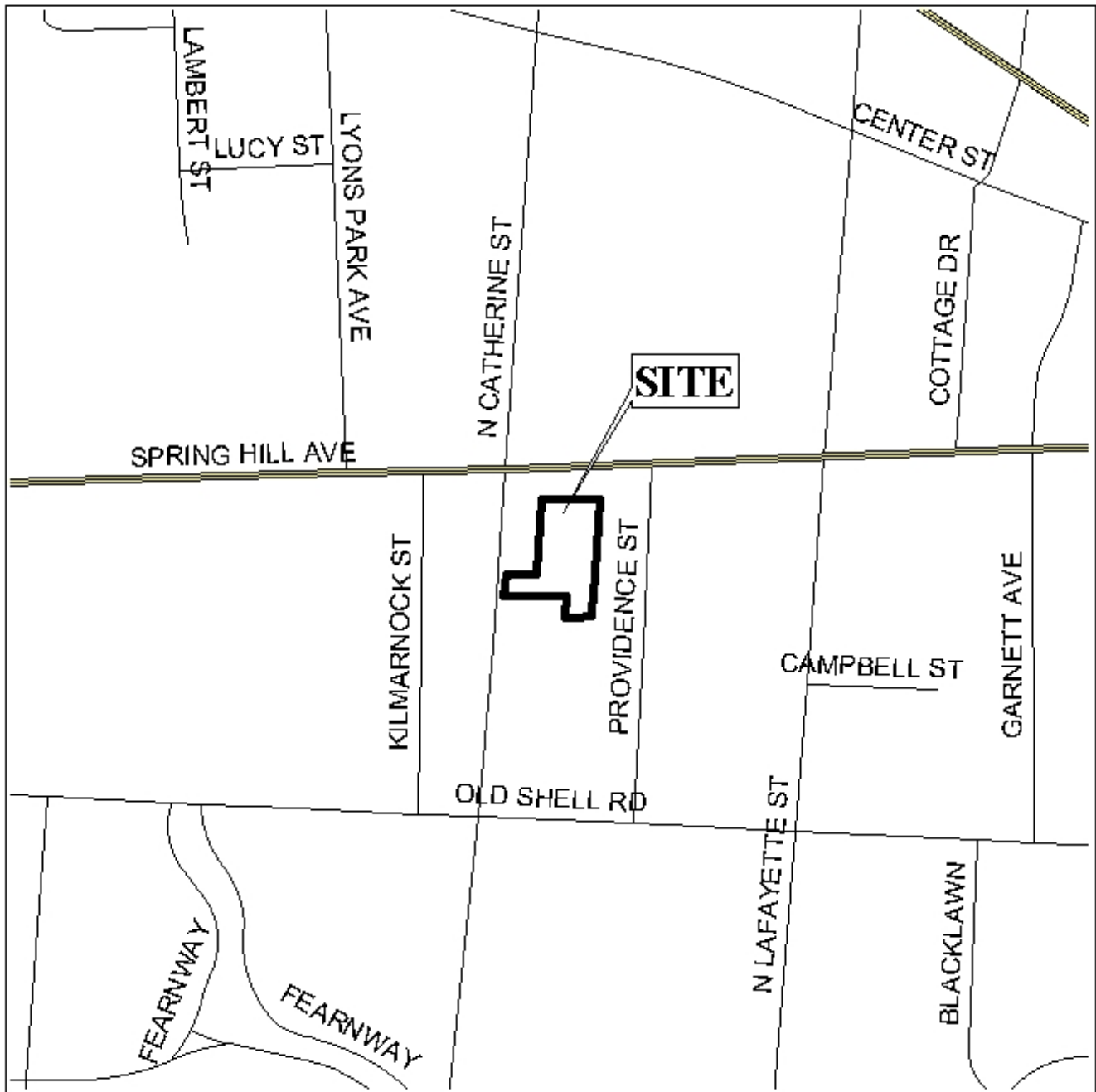
This application is supported by a number of individuals and agencies within the community and the region, including the Department of Veterans' Affairs, Mobile Mental Health, and the Mobile Fair Housing Coalition. This project aims to address the problem of homeless veterans with unmet needs in the Gulf Coast region, of which there are an estimated 1600.

### **RECOMMENDATION**

*Planning Approval* Based on the preceding, this application is recommended for Approval, subject to the following conditions: 1) the rezoning of the site to a single zoning classification; 2) the dedication of sufficient right-of-way to provide 25 feet from the centerline of Catherine Street; 3) compliance with the parking standards (Section VI.A) of the Zoning Ordinance; 4) the widening of the Catherine Street drive to 24 feet, and signing and marking of the Spring Hill Avenue drives as one-way; 5) that the site be limited to the three existing curb cuts; 6) compliance with the landscaping and tree planting provisions of the Zoning Ordinance; and 7) full compliance with all municipal codes and ordinances.

*Subdivision* Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions: 1) the rezoning of the site to a single zoning classification prior to recording the final plat; 2) the dedication of sufficient right-of-way to provide 25 feet from the centerline of Catherine Street; 3) the depiction of all curb cuts on the final plat; 4) the placement of a note on the final plat stating that the site is limited to the existing three curb cuts; and 5) the depiction of the 25-foot building setback lines on the final plat.

## LOCATOR MAP



APPLICATION NUMBER 8 & 9 DATE September 15, 2005

APPLICANT Volunteers Of America Southeast

REQUEST Planning Approval, Subdivision



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



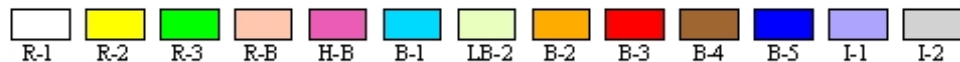
Located to the North of the site is a hospital; to the East and West are miscellaneous businesses. Located to the South of the site are single and multiple family residential dwellings.

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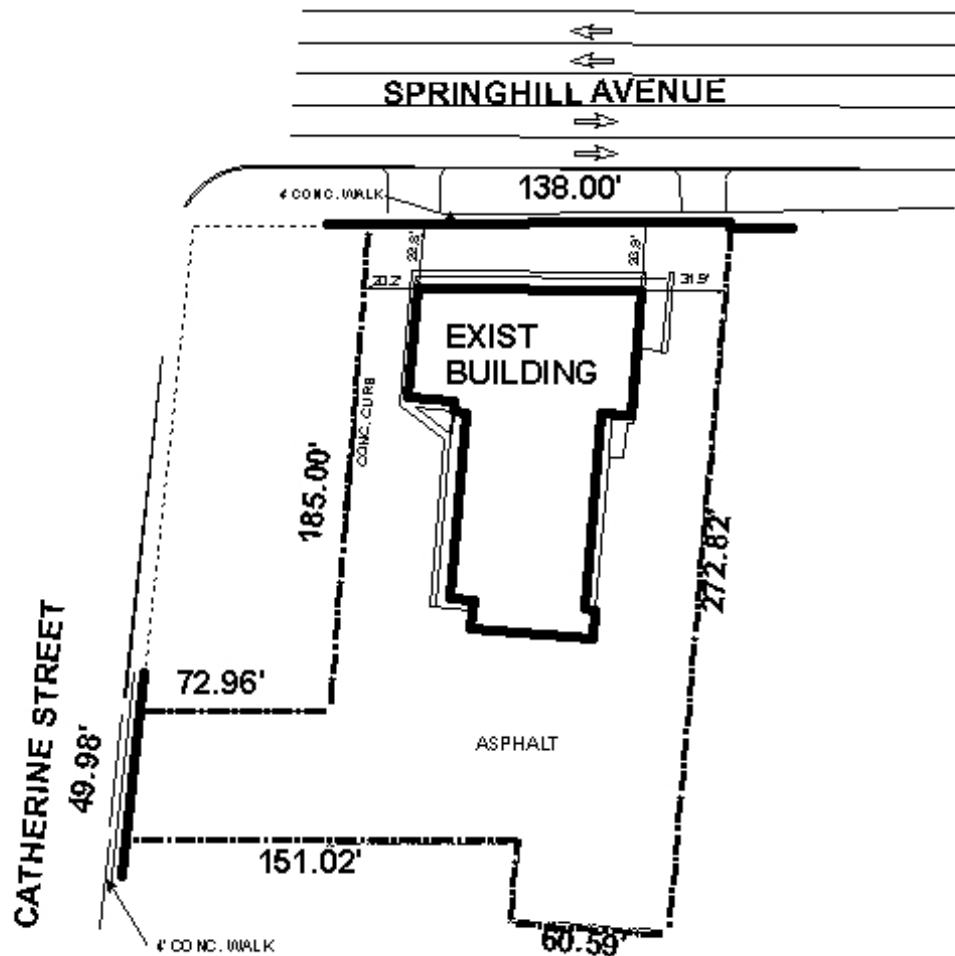
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LEGEND



NTS

# SITE PLAN



The site is located on the South side of Spring Hill Avenue, 70' East of Catherine Street. The plan illustrates the existing building and asphalt.

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