

**PLANNING APPROVAL &
SUBDIVISION STAFF REPORT****Date: March 6, 2014****NAME**

Sweet Pilgrim Baptist Church Subdivision

SUBDIVISION NAME

Sweet Pilgrim Baptist Church Subdivision

LOCATION359 St. Charles Avenue
(North side of St. Charles Avenue, 435'± West of Dr.
Martin Luther King Drive).**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

R-1, Single-Family Residence District

AREA OF PROPERTY

1 Lot / 2.1± Acres

CONTEMPLATED USE

Planning Approval to allow a church in an R-1, Single-Family Residential District, and Subdivision approval to create one legal lot.

**TIME SCHEDULE
FOR DEVELOPMENT**

None provided

**ENGINEERING
COMMENTS**

The following comments should be addressed prior to acceptance and signature by the City Engineer: A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 28 - # 71) the Lot will receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate amount of historical credit with City Engineering Department staff prior to the submittal of the Land Disturbance Permit application. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Show and label the monument set or found at each subdivision corner. E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Driveway improvements cannot extend beyond the property line with the consent of the adjacent property owner. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

The application does not show the existing Live Oak trees on the site. Urban Forestry is recommending holding the application over and having a revised site plan showing how the proposed development will impact the existing Live Oak trees.

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planning Approval to allow a church in an R-1, Single-Family Residential district, and Subdivision approval to create one legal lot of record. Churches require Planning Approval when located in R-1 districts.

The applicant proposes to construct a new 292-seat church. The site previously had a church on it; however, the church had to be torn down due to extensive damage sustained as a result of the December 25, 2012 tornadoes.

The site fronts onto St. Charles Street, a minor street with curb and gutter. As a minor street with curb and gutter, the right-of-way should be 50'. The preliminary plat submitted illustrates the current right-of-way as being 40'. Therefore, dedication should be made to provide 25' from the centerline.

The submitted site plan illustrates three existing residential curb cuts, which are labeled as, "to be removed". As a means of access management, the site should be limited to two curb cuts to St. Charles Avenue. A note stating this should be placed on the site plan, if approved.

As the proposed church will have 292 seats,

Section 64-6.A.6. of the Zoning Ordinance requires 73 parking spaces; the site plan illustrates 79 parking spaces on the site. It should be noted that after required dedication, one or two parking spaces may have to be removed to allow for the curb cut, however the site will still exceed the minimum number of required parking spaces. It should also be noted that parking spaces that do

not have curbing present should have bumper stops provided. Because there are more than 25 parking spaces on the site, a note should be placed on the site plan stating that parking lot lighting will be provided in compliance with Section 64-6.A.3.C. of the Zoning Ordinance. Section 64-6.A.3.C. of the Zoning Ordinance also requires the submittal of a photometric site plan of the parking areas when applying for building permits.

The site plan illustrates a dumpster which meets setback, and is noted as being screened on three sides as required; however, the note should be revised to state that the screen will be a privacy fence or wall at least as high as the dumpster per Section 64-4.D.9. of the Zoning Ordinance.

A 6' high privacy fence is illustrated along the side and rear property line to serve as a residential buffer; however, the site plan should be revised to indicate that the fence will come down to 3' high within the 25' front setback.

It is very important to note that the Planning Approval review is site plan specific; therefore *any* future changes to the overall site plan must be submitted for PA review. Additionally, if the number of seats for the church or the site plan are changed from what is approved by the Planning Commission, a new application for Planning Approval will be required.

The proposed site plan illustrates full compliance with landscaping and tree planting requirements; however, as Urban Forestry has noted, there is no notation showing the size and location of existing Live Oak trees.

Regarding the Subdivision, the proposed lot size is labeled in square feet and acres, and exceeds the minimum requirements of Section V.D.2. of the Subdivision Regulations. If approved this information should be retained on the Final Plat.

The 25' minimum building setback line is illustrated on the preliminary plat, and should be retained on the Final Plat, if approved.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

RECOMMENDATION

Planning Approval: The request is recommended for Holdover until the April 3, 2014 meeting, so that the following revisions can be made and submitted by March 20, 2014:

- 1) dedication to provide 25' from the centerline of St. Charles Avenue;
- 2) revision of the 25-foot minimum building setback line to reflect dedication;
- 3) revision of the site plan to illustrate the location and size of existing live oak trees on the site, per Urban Forestry comments;
- 4) revision of the site plan to note the height and material of the dumpster screening;

- 5) compliance with Traffic Engineering comments (*Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Driveway improvements cannot extend beyond the property line with the consent of the adjacent property owner. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 6) placement of a note limiting the site to two curb cuts to St. Charles Avenue;
- 7) placement of a note on the site plan state that parking lot lighting will be provided in compliance with Section 64-6.A.3.C. of the Zoning Ordinance;
- 8) depiction and provision of a 6-foot high wooden privacy fence around the perimeter of the site where it abuts existing residential development, with the exception of within 25-feet of a street right-of-way, where the fence shall not exceed 3-feet in height;
- 9) illustration of bumper stops where curbing is not provided; and
- 10) full compliance with all other municipal codes and ordinances.

Subdivision: The request is recommended for Holdover until the April 3, 2014 meeting, so that the following revisions can be made and submitted by March 20, 2014:

- 1) dedication to provide 25' from the centerline of St. Charles Avenue;
- 2) revision of the 25-foot minimum building setback line to reflect dedication;
- 3) retention of the lot size in square feet and acres;
- 4) compliance with Traffic Engineering comments (*Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Driveway improvements cannot extend beyond the property line with the consent of the adjacent property owner. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 5) placement of a note limiting the site to two curb cuts to St. Charles Avenue;
- 6) compliance with Fire Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*);
- 7) compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer: A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 28 - # 71) the Lot will receive historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Coordinate amount of historical credit with City Engineering Department staff prior to the submittal of the Land Disturbance Permit application. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Show and label the monument set or found at each subdivision corner. E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.*);

- 8) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

LOCATOR MAP



APPLICATION NUMBER 8 & 9 DATE March 6, 2014

APPLICANT Sweet Pilgrim Baptist Church Subdivision

REQUEST Subdivision, Planning Approval



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



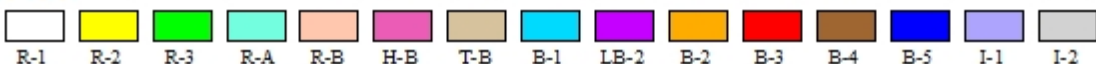
The site is surrounded by single family residential units.

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LEGEND



NTS

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The site is surrounded by single family residential units.

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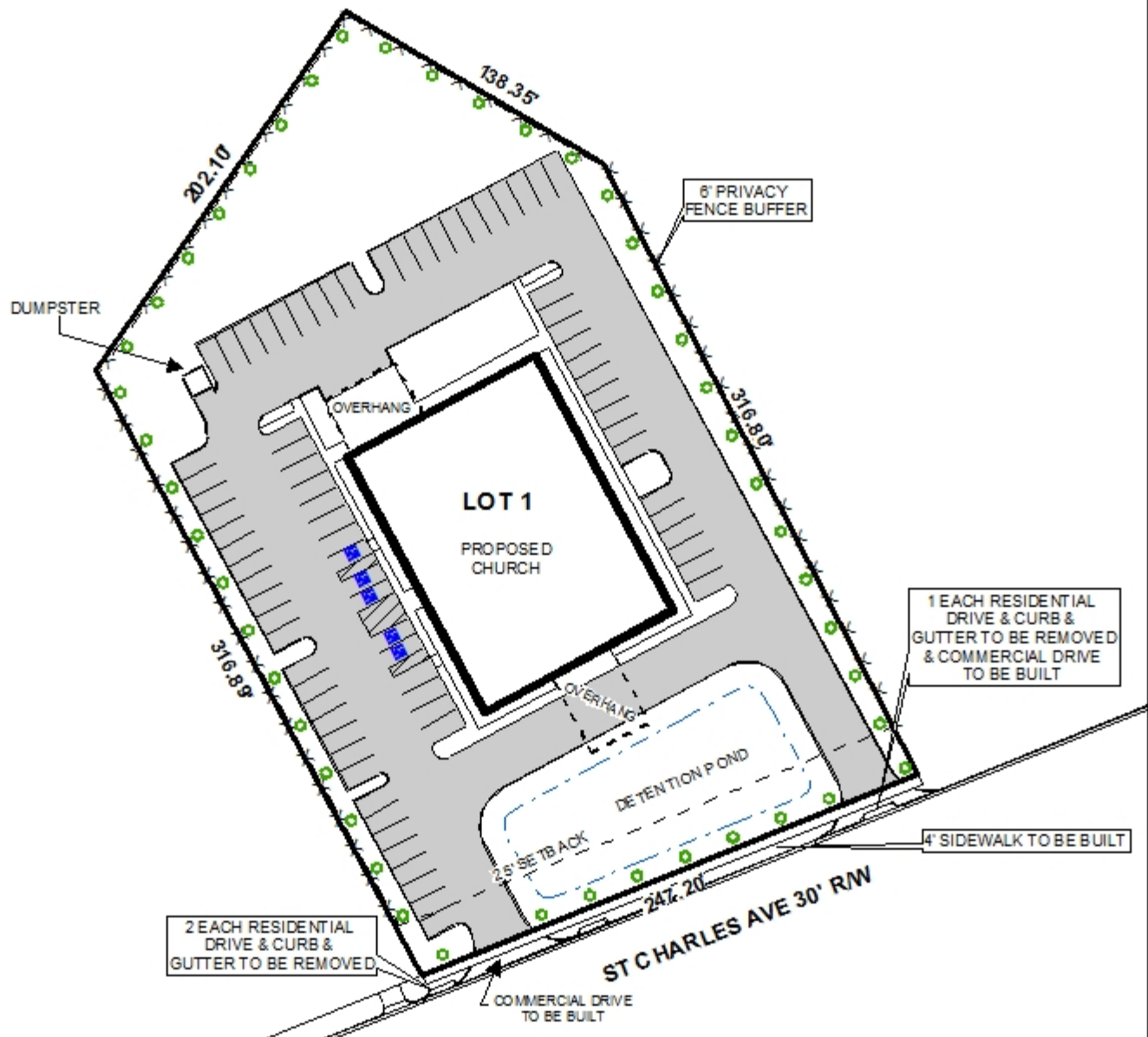
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NTS

SITE PLAN



The site plan illustrates the parking lots, church, proposed church, and exist drives, and proposed drives.

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