

HOLDOVER/REVISED**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: March 7, 2013****DEVELOPMENT NAME**

Turner Marine Supply Subdivision

SUBDIVISION NAME

Turner Marine Supply Subdivision

LOCATION

5010 Dauphin Island Parkway
(West side of Dauphin Island Parkway extending to the
East side of Dog River)

**CITY COUNCIL
DISTRICT**

District 3

AREA OF PROPERTY*Subdivision: 3 lots/7.0± Acres**Planned Unit Development: 3 lots/7.0± Acres***CONTEMPLATED USE**

Subdivision approval to create three legal lots of record from four metes and bounds parcels and Planned Unit Development Approval to allow multiple buildings on a single building site and shared access across multiple building sites.

**TIME SCHEDULE
FOR DEVELOPMENT**

Existing development.

**ENGINEERING
COMMENTS**

The following comments should be addressed prior to review, acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes); 2. Provide a signature block and signature from the Traffic Engineering Department; 3. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); 4. Add a note to the PUD drawing stating that a Land Disturbance Permit will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS**COMMENTS**

MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.

REMARKS

The applicant is seeking Subdivision approval to create three legal lots of record from four existing metes and bounds parcels, and Planned Unit Development Approval to allow multiple buildings on a single building site with shared access across multiple building sites. The site is located in Council District 3, and according to the applicant is served by public water and sanitary sewer.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The proposed lots, as depicted, meet the minimum size as regulated by the Subdivision Regulations; however, Lots 1 and 2 do not provide frontage on a public right-of-way and would not be considered lots on a private street as allowed by Section VIII of the Subdivision Regulations, as both have had frontage along an existing access and parking easement since 1981. The 25-foot minimum building setback lines are not depicted and therefore, if approved should be placed along ALL frontages of all lots, including access easements, if approved. The lot area sizes in square feet/acres are not depicted on the preliminary plat would be required on the Final Plat if approved.

The site fronts Dauphin Island Parkway, a component of the Major Street Plan with a planned 100' right-of-way. As the preliminary plat illustrates Dauphin Island Parkway has a variable right-of-way along the site, dedication may be required. Therefore, the illustration of dedication sufficient right-of-way to provide 50-feet from the centerline of Dauphin Island Parkway should be required. It should be noted that the site does not provide direct access to Dauphin Island

Parkway due to the Dog River bridge approach preventing direct access. Access is provided via Marina Drive North, a service road used by this site as well as the adjacent site (Dog River Marina) to the North. It is from this point the applicant has access to the existing 30-foot ingress/egress easement.

As proposed, Lot 3 illustrates two existing structures; one used as a single dwelling unit, the other a marine supply store; an unspecified number of boat slips and parking for stored boats and vehicles all are located in an R-1, Single-Family Residential District. The applicant may consider creating a separate lot for the dwelling to comply with Chapter 64-11. Chart of Permitted Uses. Then rezoning of the commercial portion to B-3 would allow a marina, including boat and accessory sales, service and storage.

Proposed Lots 1, 2 and the dwelling included within Lot 3 all have one ingress/egress access point; a 30-foot ingress/egress easement located on the adjacent property to the North (Dog River Marina), which was executed in 1981 after Hurricane Fredrick. As such, a note should be required on the Final Plat (and PUD site plan) stating that the development is limited to the existing curb cuts as illustrated, and if any changes to the existing curb cuts or if any new curb cuts are proposed, the size, design, and location must be approved by Traffic Engineering and conform to AASHTO standards. It should be noted that any changes or the creation of additional curb cuts may required a Traffic Impact Study.

Since the applicant proposes an addition to one of the existing unpermitted dwellings and the history of parceling off a metes and bounds parcel was the catalyst for the submission of the Subdivision and PUD applications. The PUD site plan submitted ONLY indicates the proposed lot layout and existing building footprints with no building and setback dimensions. Therefore, the site plan should be revised to indicate the existing features of the entire site, including dimensions and square footage of all structures, the number of existing boat slips, the number of dry dock boat storage spaces, the number of parking spaces for vehicles and the amount of landscaping and location of existing trees. The site plan does not indicate a dumpster or contain a note stating how trash pick-up is proposed. Therefore, the site plan should be revised to indicate a dumpster, in compliance with Section 64-4.D.9. of the Zoning Ordinance, and with a compliant sanitary sewer connection, or a note should be placed on the site plan stating that trash collection will be curb-side pick-up or private pick-up service.

City standard sidewalks are not indicated along Dauphin Island Parkway; however, since this PUD proposes no further commercial development and does not provided real road frontage, the applicant should submit a sidewalk waiver application to waive the sidewalk requirements along Dauphin Island Parkway.

As previously stated the site plan does not depict existing landscaping areas or tree plantings. Since the site was developed, full compliance with both landscaping area and tree plantings will not be required. However, frontage trees should be required for the site with the location to be coordinated with Urban Forestry. The site plan should be revised illustrating the square footage of landscaping and percentages of the total and frontage landscaping provided on proposed Lot 4

It appears that the site is within an "AE" flood zone, according to FEMA information. Approval of all applicable federal, state and local agencies may be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for holdover to the meeting of March 7, 2013 to allow for the applicant to submit a revised preliminary plat, to be submitted no later than February 14th with the following changes:

- 1) revision of the plat to indicate at least a 50-feet from the centerline of Dauphin Island Parkway, or dedication sufficient to provide 50' from the centerline of Dauphin Island Parkway;
- 2) illustration of the 25-feet minimum building setback along all road frontages and access easements;
- 3) the inclusion of the 30-feet ingress/egress easement on the Dog River Marina property to be probated and executed on the Final Plat;
- 4) revising the plat to provide a 4-lot subdivision, thereby creating three residential lots and one commercial lot;
- 5) the labeling on the Final Plat of each lot with its size in square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 6) placement of a note on the Final Plat stating that the subdivision is limited to the existing curb cut to Dauphin Island Parkway, with all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards ;
- 7) labeling of any required detention area as common area and the placement of a note on the Final Plat stating that the maintenance of the common area is the responsibility of the property owners;
- 8) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 9) placement of a note on the plat stating that development of the site will comply with any applicable federal, state and local regulations regarding flood-related issues;
- 10) compliance with Engineering comments: *(The following comments should be addressed prior to review, acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes); 2. Provide a signature block and signature from the Traffic Engineering Department; 3. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); 4. Add a note to the PUD drawing stating that a Land Disturbance Permit will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).);*
- 11) compliance with Traffic Engineering comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.); and*

- 12) compliance with MAWWS comments: *(MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.).*

Planned Unit Development: Based upon the preceding, this application is recommended for holdover to the meeting of March 7, 2013 to allow for the applicant to submit a revised site, to be submitted no later than February 14th with the following changes:

- 1) the submittal of a rezoning application, creating a B-3, Community Business District on one lot to allow a Marina, including boat and accessory sales, service and storage;
- 2) the submission of a Sidewalk Waiver application, requesting the waiver of the sidewalk along Dauphin Island Parkway;
- 3) illustration on the site plan the footprint dimensions, proposed additions and dimensions of the lot;
- 4) illustration of the number of boat slips, the number of dry dock boat storage spaces, the number of parking spaces for vehicles;
- 5) revision of the site plan to provide a dumpster, in compliance with Section 64-4.D.9. of the Zoning Ordinance, and with a compliant sanitary sewer connection, or the placement of a note on the site plan stating that trash collection will be curb-side or via private pick-up service;
- 6) revision of the site plan to depict compliance with frontage trees, to be coordinated with Urban Forestry and the square footage and percentages of total and frontage landscaping;
- 7) labeling of any required detention area as common area and the placement of a note on the site plan stating that the maintenance of the common area is the responsibility of the property owners;
- 8) compliance with Engineering comments: *(The following comments should be addressed prior to review, acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes); 2. Provide a signature block and signature from the Traffic Engineering Department; 3. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); 4. Add a note to the PUD drawing stating that a Land Disturbance Permit will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045));*
- 9) compliance with Traffic Engineering comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 10) compliance with MAWWS comments: *(MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.); and*
- 11) submittal of two copies of a revised site plan prior to signing of the Final Plat for the Subdivision.

Revised for the March 7th, 2013 meeting:

The applicant submitted a revised site plan; however, this site plan did not illustrate compliance with requirements as requested by staff at the February meeting.

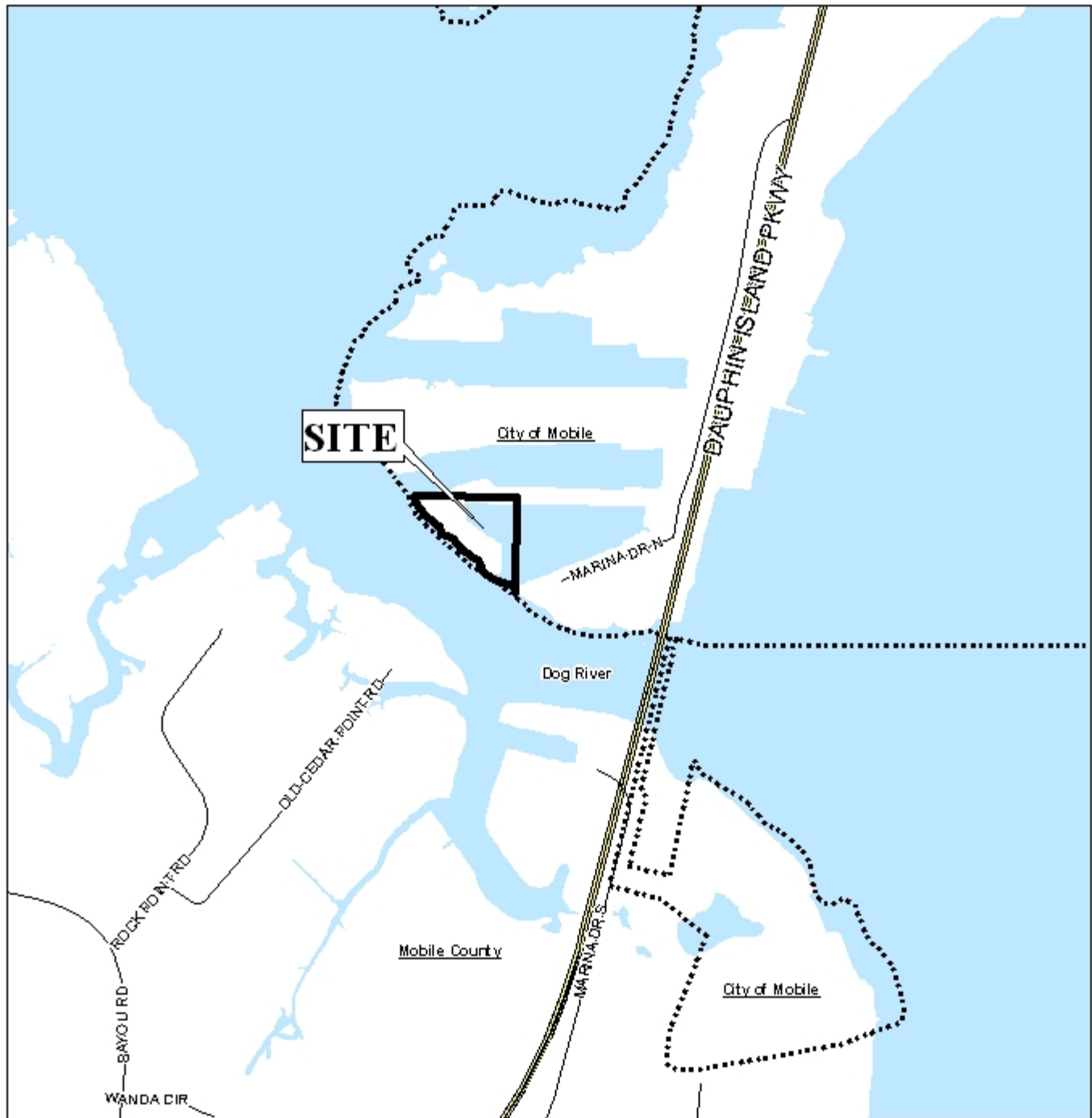
RECOMMENDATION
is recommended for denial.

Subdivision: *Based upon the preceding, this application*

Planned Unit Development:
for denial.

Based upon the preceding, this application is recommended

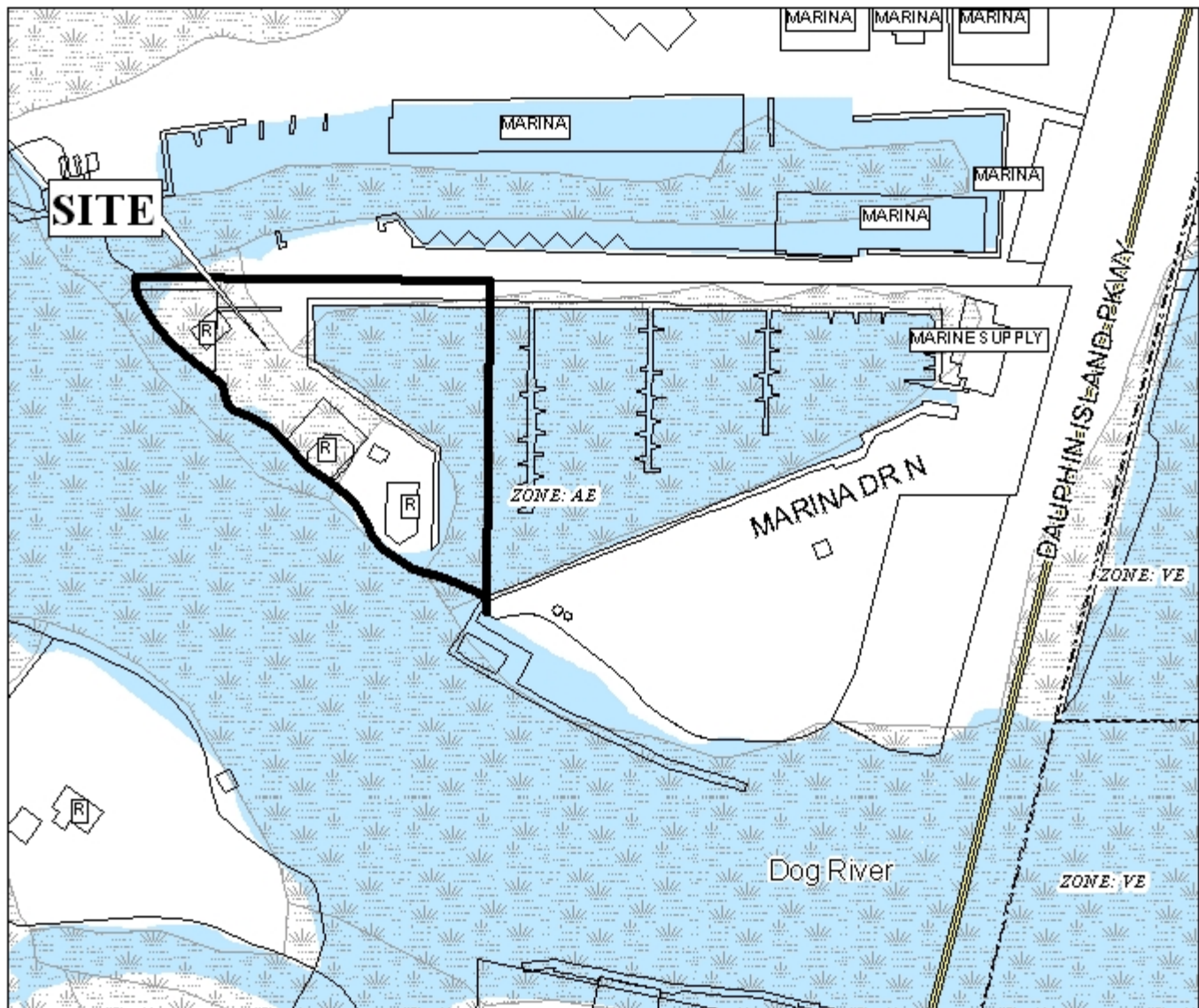
LOCATOR MAP



APPLICATION NUMBER 8 & 9 DATE March 7, 2013
APPLICANT Turner Marine Supply Subdivision
REQUEST Subdivision, Planned Unit Development

N
NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



A marina is located to the north of the site.

APPLICATION NUMBER 8 & 9 DATE March 7, 2013

APPLICANT Turner Marine Supply Subdivision

REQUEST Subdivision, Planned Unit Development

LEGEND NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

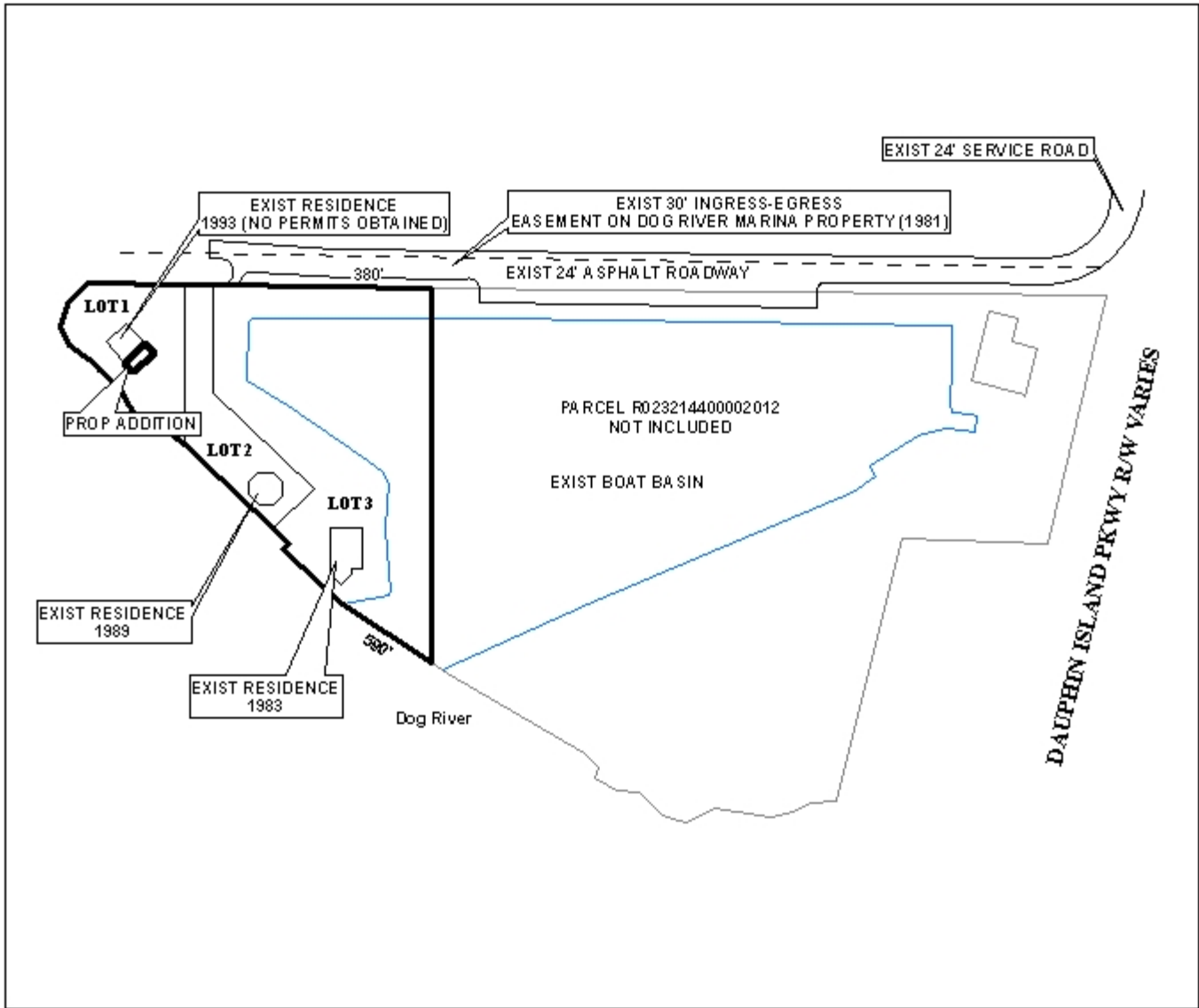


A marina is located to the north of the site.

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N
NTS

SITE PLAN



The site plan illustrates the existing structures, proposed residential addition, and proposed lot configuration.

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NTS