

**PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT**

Date: May 15, 2003

DEVELOPMENT NAME Hillcrest Trace Subdivision, Revised

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LOCATION East side of Hillcrest Road, 125'± South of Western Hills Avenue

PRESENT ZONING R-1, Single-Family Residential

AREA OF PROPERTY 12 Lots/2.5± Acres

CONTEMPLATED USE Detached single-family residential subdivision, with reduced front setbacks, and increased site coverage.

TIME SCHEDULE FOR DEVELOPMENT Immediately

**ENGINEERING
COMMENTS**

Applicant should verify the stormwater system can effectively handle increase stormwater runoff. Design capacity and constructed capacity should be verified by a registered professional engineer. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

REMARKS

The applicant is requesting amended Planned Unit Development (PUD) approval to increase the maximum site coverage to 55% per lot and to reduce the front building setback lines from 25-feet to 20-feet. These modifications would also alter the record plat, thus a new subdivision approval is required.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

In regard to the reduced front yard setback, in a residential PUD a 20-foot front yard setback is common. Additionally, single-family residential PUD applications frequently request increased (more than 35%) site coverage; however, additional site coverage requests typically do not exceed 45 percent. The applicant is requesting 55 percent.

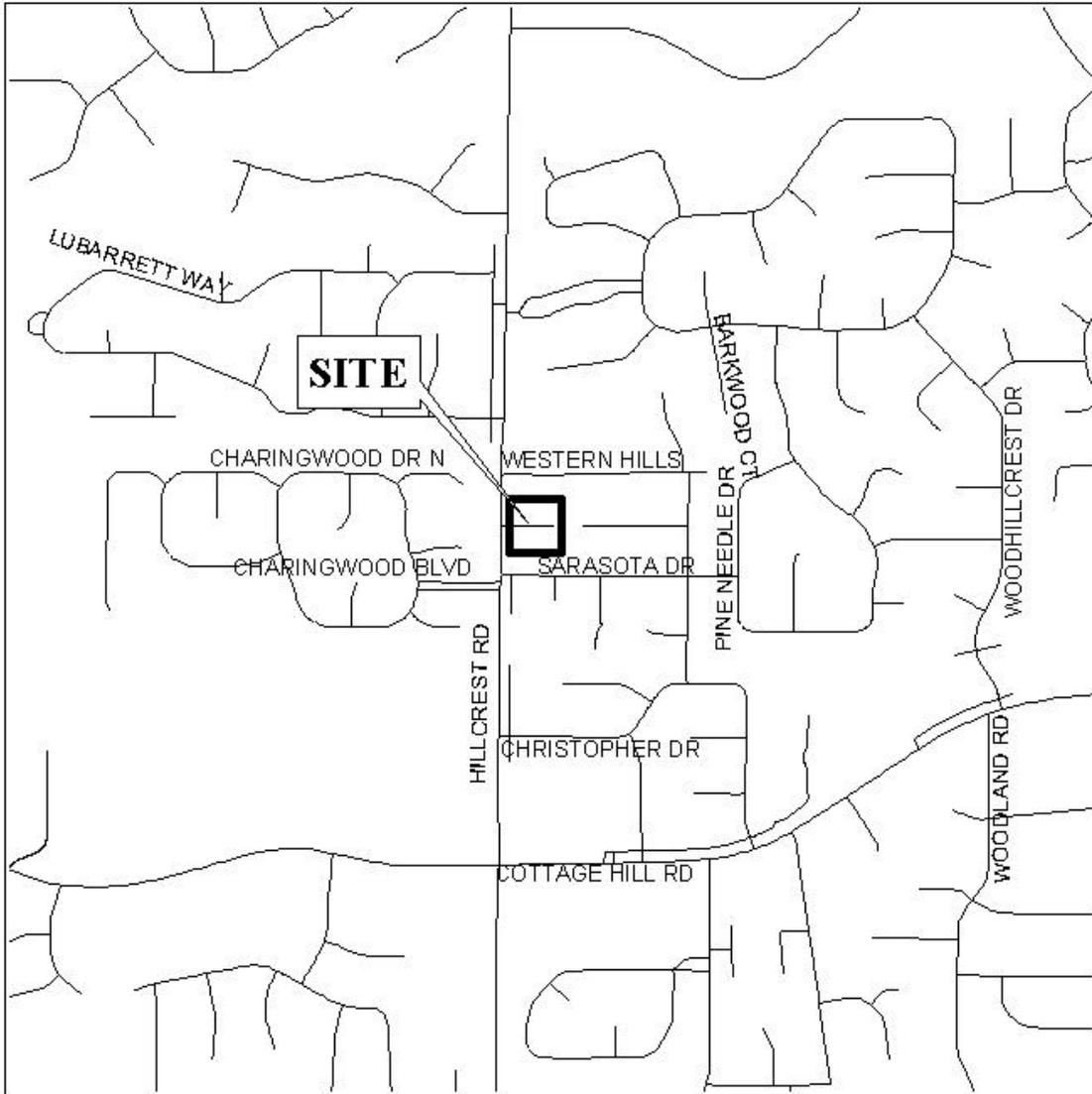
The Ordinance establishes maximum site coverage requirements to provide usable open space for residents and to moderate run-off. Additionally, an increase in site coverage may also require modification to the existing stormwater system for the subdivision as outlined in the Engineering Comments above.

Site coverage is calculated for each individual lot, and as proposed up to 55% of each lot could be covered with a building footprint. It should be noted that only the footprints of the building structures are used to calculate site coverage; the impervious area of the lots (such as driveways, patios and sidewalks) are not included in the site coverage calculations, thus the impervious area of each lot would actually exceed 55 percent.

RECOMMENDATION **Planned Unit Development:** Based upon the preceding, it is recommended that the reduced front yard setback request be approved, and that the increased site coverage request be denied.

Subdivision: The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following condition: 1) placement of a 20-foot front yard setback on the final plat.

LOCATOR MAP



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential dwellings.

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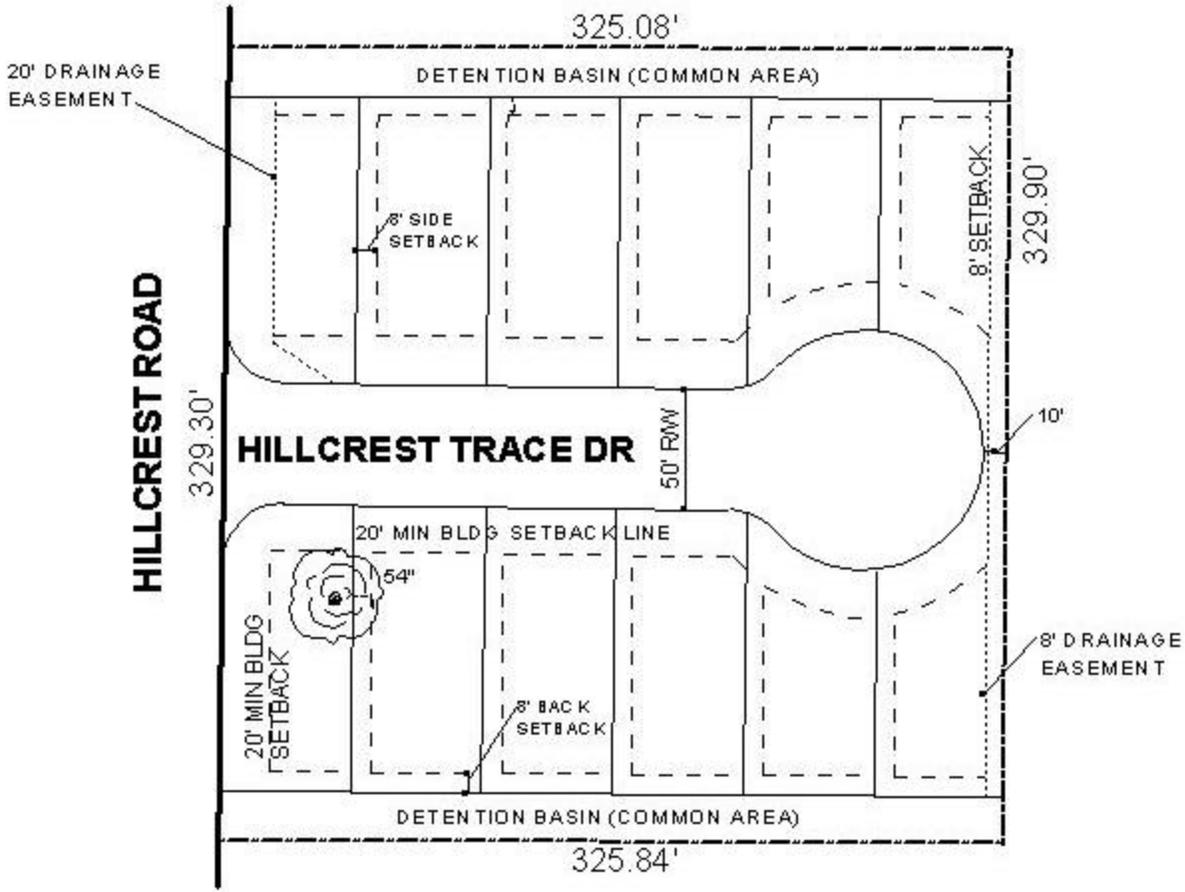
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LEGEND



SITE PLAN



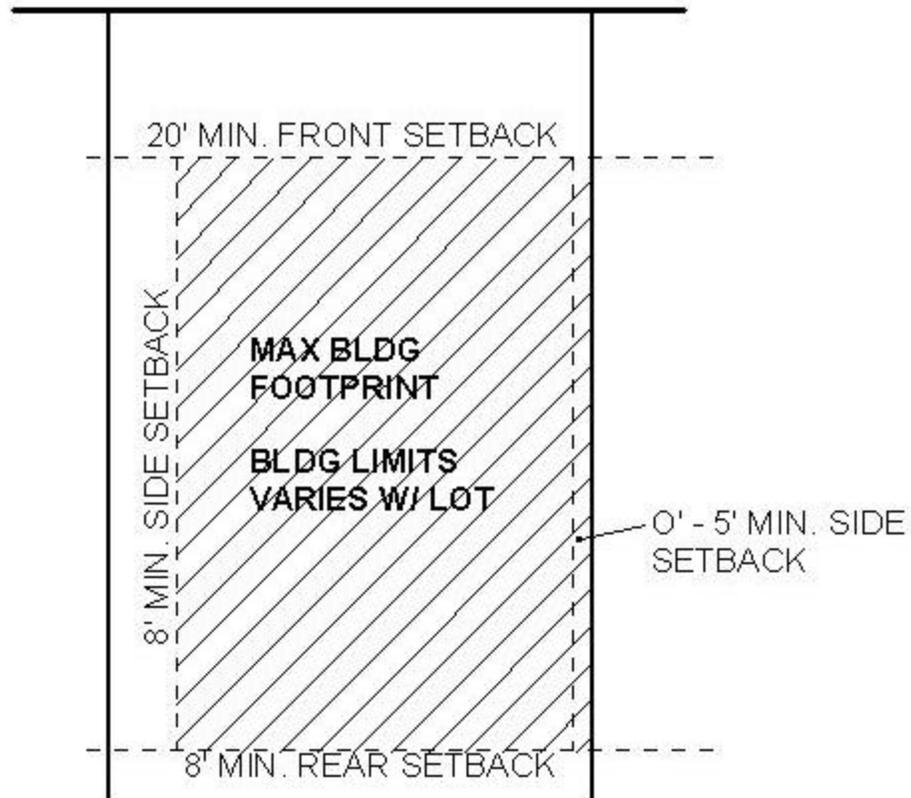
The site is located on the East side of Hillcrest Road, 125' South of Western Hills Avenue. The plan illustrates the proposed lots and setbacks.

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TYPICAL LOT

HILLCREST TRACE DRIVE



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