

ZONING AMENDMENT,
PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT

Date: May 1, 2003

DEVELOPMENT NAME Cornell Subdivision

SUBDIVISION NAME Cornell Subdivision

LOCATION 1757 Old Shell Road (Rezoning site)
(South side of Old Shell Road, 150'± West of Semmes Avenue)

1751 and 1757 Old Shell Road (PUD and Subdivision)
(Southwest corner of Old Shell Road and Semmes Avenue)

PRESENT ZONING R-1, Single-Family Residential to B-2, Neighborhood Business

AREA OF PROPERTY 1 Lot / .7± Acre

CONTEMPLATED USE Multiple buildings on a single-building site with shared parking

TIME SCHEDULE FOR DEVELOPMENT Immediately

ENGINEERING COMMENTS We need a 25' radius at the intersection of Old Shell Road and Semmes Avenue. If a 25' radius is not available due to the location of the building, we recommend the maximum radius possible without interfering with the building structure. This is a heavily traveled intersection with an elementary school directly across the street. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING COMMENTS Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

REMARKS The applicant is requesting rezoning to B-2, Neighborhood Business to eliminate spilt zoning on an existing site, Planned Unit Development Approval for multiple buildings on a single building site, and Subdivision approval to consolidate multiple lots into one lot.

The applicant is requesting to rezone a small portion (approximately 50' x 20') of the site to eliminate split zoning. This small portion of property appears to have once been part of the adjoining lot to the East fronting Semmes Avenue; however, according to the applicant, this 50' x 20' parcel was incorporated into the existing site (via metes and bounds) approximately 40 years ago. Additionally, a letter from the Semmes Avenue property owner was submitted which states that they are unwilling to participate in the Subdivision application. Regarding the rezoning request, as illustrated on the Vicinity Map all the properties along the South side of Old Shell Road from Semmes Avenue westwardly, are zoned B-2.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

In terms of the PUD request, the buildings are existing and would share parking. The main parking lot would expand to the rear of the existing residence and would require the removal of an existing garage apartment. As the site is located within the Old Dauphinway Historic District, the approval of the Architectural Review Board would be required for all exterior modifications, including the removal of the garage apartment.

As outlined above, PUD approval takes into account compatibility and the existing residential structure is similar in style to the adjacent residences. A letter from the Director of the Mobile Historic Development Commission states that the house "retains its essential character and the Commission would like to see this maintained" and that the Commission feels that maintaining this character is "vital to the neighborhood." As a condition of PUD approval, the character of the streetscape should be maintained by requiring that the existing residential structure retain its exterior design. It should also be noted that the new parking area will require Architectural Review Board approval.

Additionally, it appears that the existing parking lot complies with the landscaping and tree planting requirements of the Ordinance; however, the lot onto which the parking is being expanded, should comply with the landscaping and tree planting requirements as well. Another point to consider is that although the site adjacent to the West is zoned commercially, it is used residentially, thus the provision of a buffer, in compliance with Section IV. D.1. should be required along both the West and South property lines. Furthermore, if there is no sidewalk in front of the existing residence, one should be provided.

As stated above, the subdivision request is to simply consolidate four lots into one lot. There is no existing radius at the intersection of Semmes Avenue and Old Shell Road and as outlined in the City Engineering comments, a 25' radius is needed. However, if a 25'

radius is not possible due to the location of the building, the maximum radius possible without interfering with the building structure should be required. Additionally, the site should be limited to the one existing curb cut to Old Shell Road.

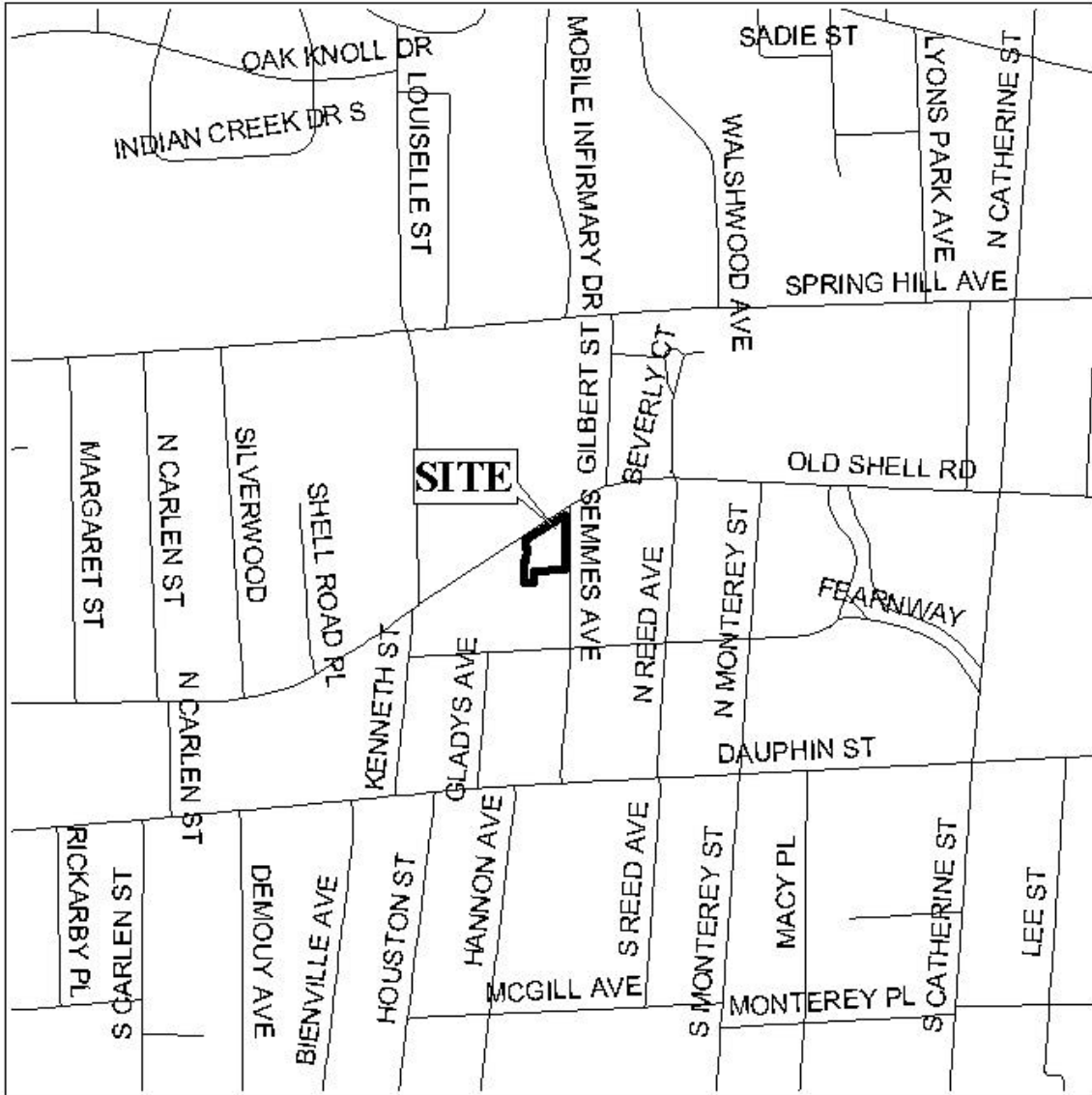
RECOMMENDATION

Rezoning: Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) full compliance with the landscaping and tree planting requirements of the Ordinance; 2) provision of a buffer along the South and West property lines; 3) provision of a sidewalk; 4) approval of the Architectural Review Board for all exterior modifications; and 5) full compliance with all municipal codes and ordinances.

Planned Unit Development: Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) full compliance with the landscaping and tree planting requirements of the Ordinance; 2) provision of a buffer along the South and West property lines; 3) provision of a sidewalk; 4) that the existing residential structure maintain its exterior residential character; and 5) full compliance with all municipal codes and ordinances.

Subdivision: With modifications, the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following condition: 1) dedication of a 25-foot radius or the maximum radius possible without interfering with the building structure.

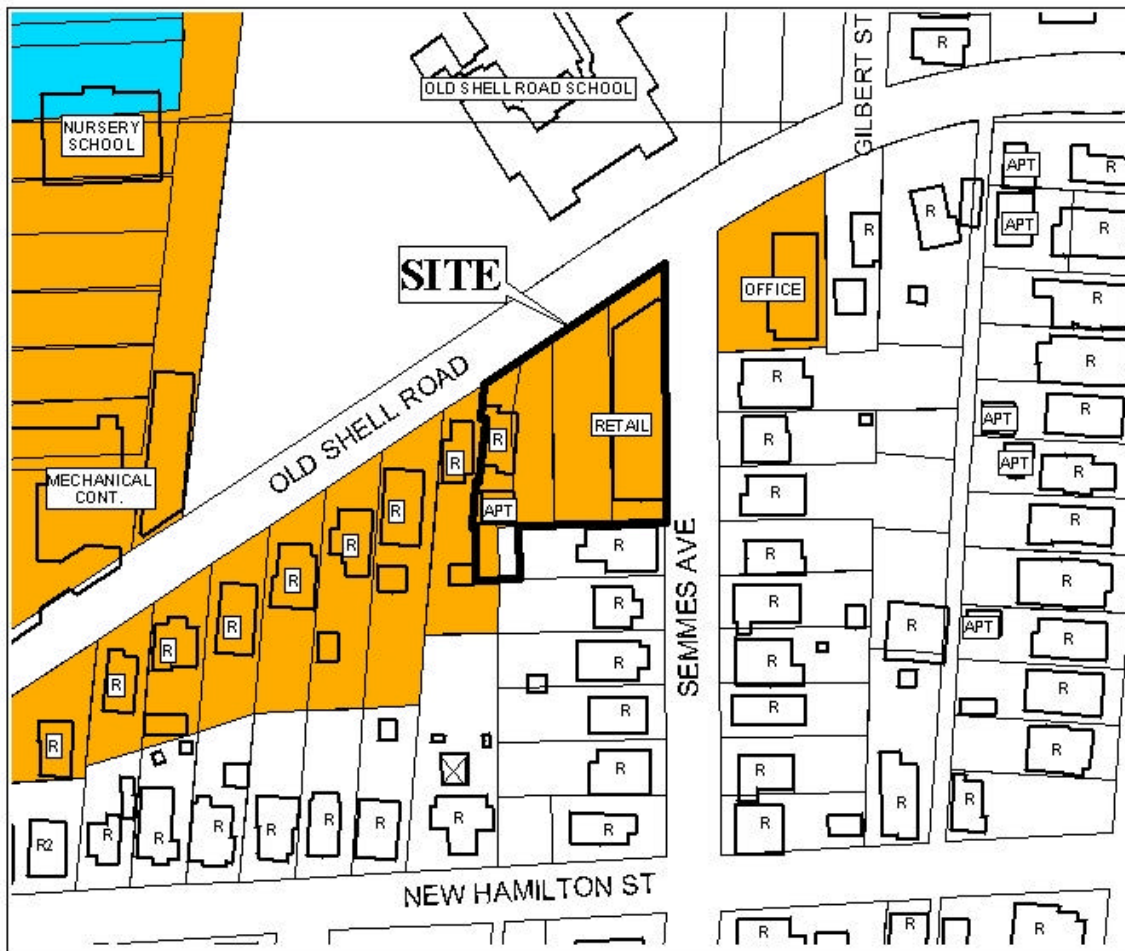
LOCATOR MAP



APPLICATION NUMBER 1 & 2 & 3 DATE May 1, 2003
 APPLICANT Cornell Family Properties, LLC
 REQUEST Subdivision, Rezoning and PUD



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is located in an area of mixed land use. To the north is a school and to the east is an office. South and west of the site are residential dwellings.

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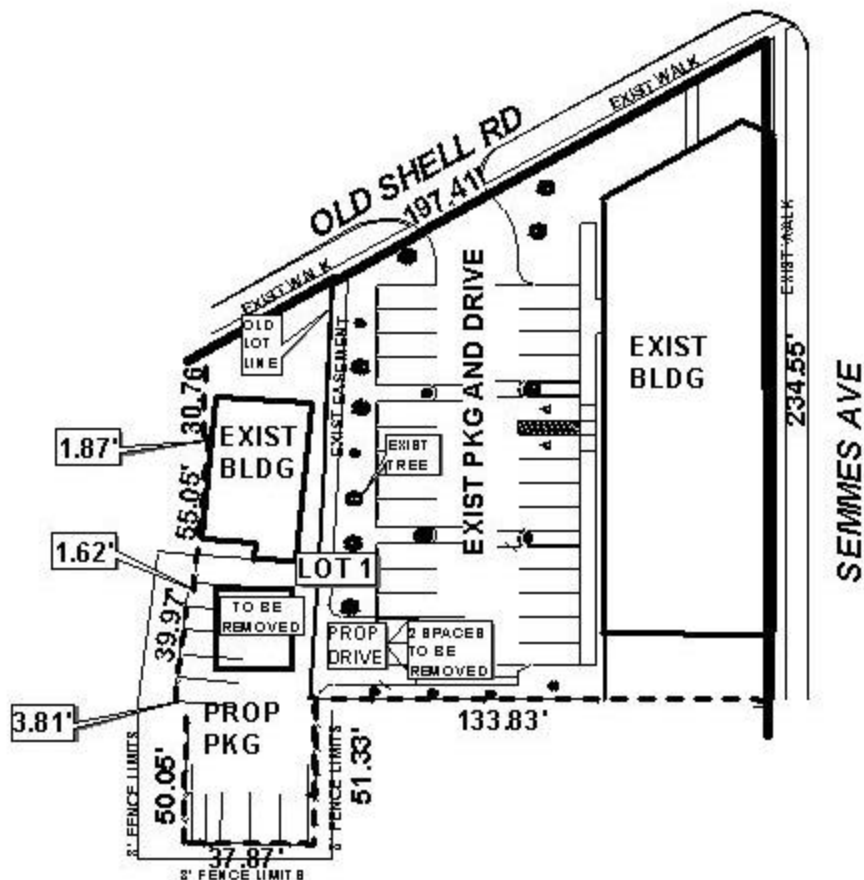
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LEGEND



NTS

SITE PLAN



The site plan illustrates the existing buildings to remain and to be removed, existing parking, easement, along with proposed parking, drives, and resubdivision

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APPLICANT Cornell Subdivision

USE/REQUEST Rezoning from R-1 to B-2, Planned Unit Development, Subdivision



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