

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: March 3, 2011****DEVELOPMENT NAME**

Checkers Subdivision

SUBDIVISION NAME

Checkers Subdivision

LOCATION2213 Airport Boulevard
(Southeast corner of Airport Boulevard and Westwood
Street).**CITY COUNCIL
DISTRICT**

District 5

AREA OF PROPERTY

1 Lot/0.6± acres

CONTEMPLATED USEPlanned Unit Development Approval to allow multiple
buildings on a single building site, and Subdivision approval to create 1 lot.**TIME SCHEDULE
FOR DEVELOPMENT**

Immediately

**ENGINEERING
COMMENTS**

Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. As shown the circulation is for one-way traffic. The driveways should be narrowed to the standard one-way width to prevent traffic from exiting both driveways.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow multiple buildings on a single building site, and Subdivision approval to create one lot from two legal lots of record. The site is located in Council District 5, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create a legal lot, and a Planned Unit Development (PUD) that allows the applicant to construct a drive-thru fast food restaurant with a stand alone freezer while operating the existing drive-thru fast food restaurant.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is currently developed with a 568 square foot Checkers drive-through restaurant, with one walk-up window, outside seating (6 tables), a 112 square foot freestanding freezer located in a paved area and providing 11 parking spaces. The site plan for the new development indicates the provision of 15 parking spaces, which exceeds the requirement of 11 spaces.

As illustrated on the preliminary plat the site is located on the southeast corner of Airport Boulevard and Westwood Street. Airport Boulevard, has a variable right-of-way as illustrated on the preliminary plat; however, the previous two-lot subdivision probated Final Plat (St. Teresa's Court Subdivision, Resubdivision of Lots 6, 7 and 8, Block 1) illustrated the dedication of 10-feet along Airport Boulevard in compliance with the major street standards on the Major Street Component of the Comprehensive Master Plan. Westwood Street complies with the standards of the minor street requirements; therefore, no dedication is required along Westwood Street.

The site has two curb-cuts onto Airport Boulevard, and one curb-cut onto Westwood Street. The site should be limited to the existing number of curb-cuts, and any change to the design or location of curb-cuts must be approved by Traffic Engineering, ALDOT and conform to AASHTO standards.

As stated in Traffic Engineering comments, the two, 25-foot drives on Airport Boulevard may cause confusion, since the westernmost 27-foot curb cut is intended as a customer and truck delivery entrance.

It should also be noted that circulation on the site is extremely constrained, thus deliveries by trucks would likely block a portion of the site's circulation. Therefore, deliveries should be made during the morning prior to the restaurant opening to business.

The site is zoned B-2, Neighborhood Business District, thus the current use is allowed by right. Parking for the use is calculated as one parking space for each outside table, and one space per employee. As previously mentioned, there are 11 parking spaces on the existing site for 6 tables and an unspecified number of employees. As the new Checkers provides 15 parking spaces for 6 tables and 5 employees exceeds the requirements of the Zoning Ordinance.

The preliminary plat and the PUD site plan reflect the 25-foot setbacks from street frontages required by the Subdivision Regulations, and the Zoning Ordinance for B-2 districts.

The PUD application also illustrates the continuing use of the existing restaurant while the new restaurant is constructed. As this site is an ongoing construction site as well as a business site careful phasing of construction must be adhered to. Therefore, Final Certificates of Occupancy **WILL NOT** be issued until the site is completely developed to the approved Planned Unit Development design. However, temporary Certificates of Occupancy are required to allow occupancy of the new restaurant until the site is completely completed.

The 25-foot minimum building setback lines, required in Section V.D.9., are not shown, but would be required on the Final Plat along Airport Boulevard and Westwood Street, if approved.

Finally, regarding tree and landscape compliance for the site as illustrated on the submitted site plan. Since this is new development full compliance with the Landscape and Tree planting requirements of the Zoning Ordinance would be required. As the submitted PUD plan does **NOT** meet these requirements, a revised PUD plan would be required illustrating the landscaping and tree requirements of the Zoning Ordinance and any other changes required by the Commission prior to the approval of permits.

RECOMMENDATION

Subdivision: Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of 25-foot minimum building setback lines along all frontages as required in Section V.D.9. of the Subdivision Regulations;
- 2) compliance with Engineering comments (Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.);

- 3) placement of a note on the Final Plat stating that the site is limited to three curb-cuts (*two curb-cuts onto Airport Boulevard, and one curb-cut onto Westwood Street*), and that any changes must be approved by Traffic Engineering and ALDOT, and conform to AASHTO standards; and
- 4) provision of two (2) copies of the revised PUD site plan, if approved, prior to the signing of the final plat.

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) compliance with Engineering comments (*Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.*);
- 2) placement of a note on the site plan stating that the site is limited to three curb-cuts (*two curb-cuts onto Airport Boulevard, and one curb-cut onto Westwood Street*), and that any change to a curb-cut must be approved by Traffic Engineering and ALDOT, and conform to AASHTO standards;
- 3) provision of two (2) copies of the revised PUD site plan, if approved, prior to the signing of the Final Plat; and
- 4) full compliance with all other municipal codes and ordinances.

LOCATOR



APPLICATION NUMBER 8 & 9 DATE March 3, 2011

APPLICANT Checkers Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



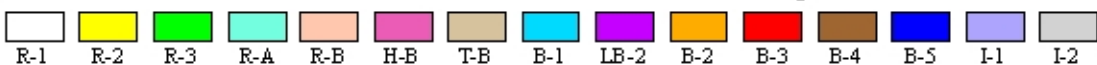
This site is surrounded by residential and business land use.

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LEGEND



NTS

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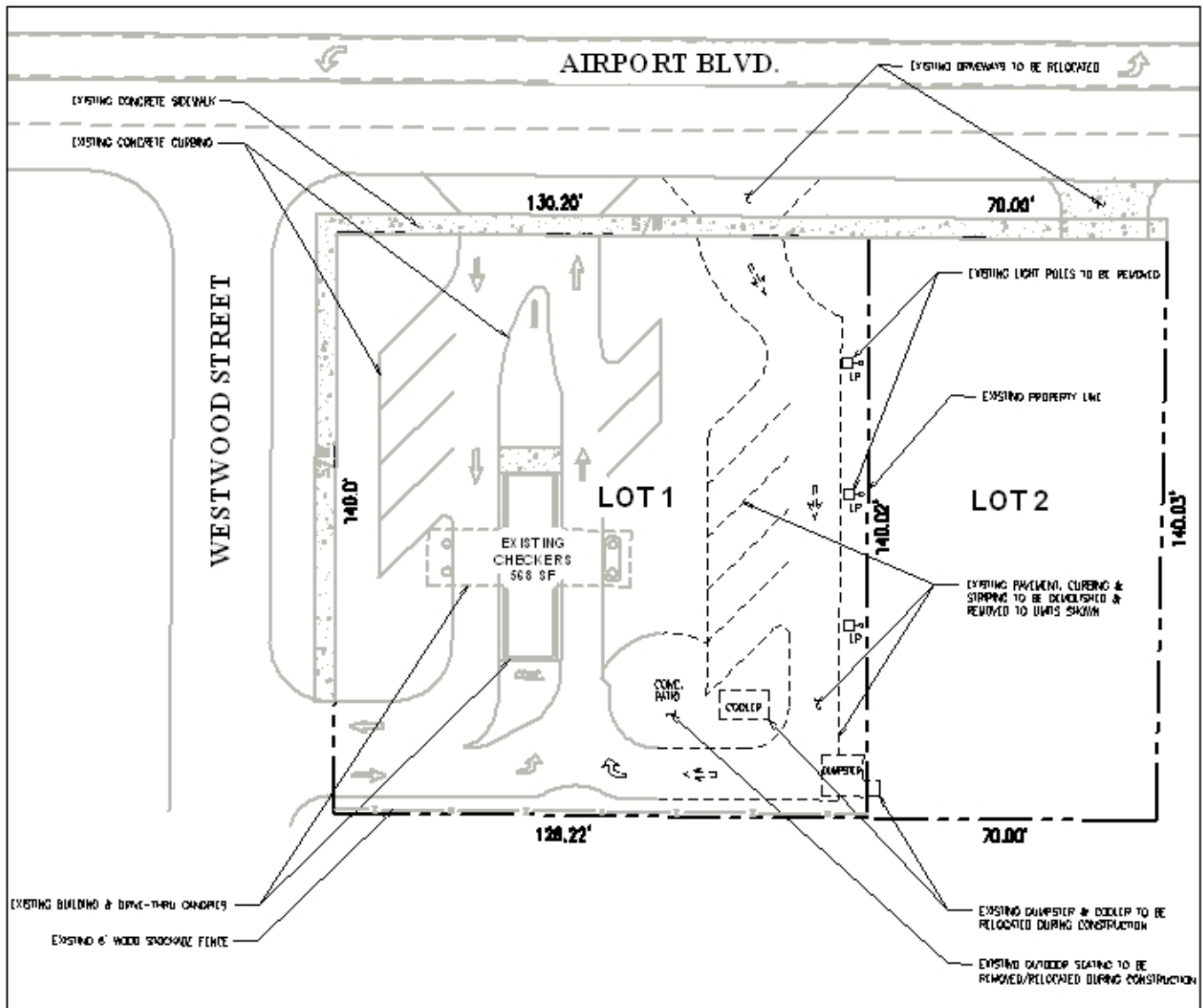
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EXISTING CONDITIONS



This site plan illustrates the existing structures and parking.

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