

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: December 21, 2006**

DEVELOPMENT NAME Carpenter's Place Subdivision, Resubdivision of Lot 2

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LOCATION North side of Lola Street, 100'+ West of Cuba Street

**CITY COUNCIL
DISTRICT** District 2

PRESENT ZONING R-1, Single-Family Residence District

AREA OF PROPERTY 5 Lots / 0.3 \pm acres

CONTEMPLATED USE Planned Unit Development Approval to allow reduced lot widths, and sizes, and reduced building setbacks in a single-family residential subdivision, and Subdivision approval to create five lots from one lot.

**TIME SCHEDULE
FOR DEVELOPMENT** Immediate

**ENGINEERING
COMMENTS** Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS** Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS** No comments.

REMARKS The applicant is requesting Planned Unit Development Approval to allow reduced lot widths, and sizes, and reduced building

setbacks in a single-family residential subdivision, and Subdivision approval to create five lots from one lot.

The site is developed and contains four “shotgun” style single-family residences. The lot being subdivided was approved by the Planning Commission at its January 10, 2002 meeting.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant proposes to create four lots to accommodate the existing “shotgun” homes, and a new lot. The existing homes are approximately 810 square feet each (including porch), and would be on lots ranging from 1,941 to 2,749 square feet – resulting in site coverages ranging from 29.5% to nearly 42%. The minimum existing side yard setback appears to be 2 feet 6 inches, and the existing front yard setback appears to be approximately 6 feet. All rear yard setbacks appear to comply with the minimum requirements of the Zoning Ordinance. The four lots that will encompass the existing homes range from 20.82 feet to 21.37 feet in width. The fifth lot would be approximately 40.88 feet wide and have an average depth of 96 feet.

Typically, the front yard setbacks required by the Subdivision Regulations, and in R-1 zoning districts for lots, are 25-feet for new construction, however this site is located in the Campground Historic District, a National Register listed historic district (but not under the purview of the local Architectural Review Board). Because of the historic nature of the area, a reduction in the front yard setback would be appropriate, and it is recommended that a minimum front yard setback of 10 feet be allowed (as the district is not locally recognized, the Historic District Overlay does not apply). Furthermore, the minimum lot sizes and dimensions of both the Subdivision Regulations and the Zoning Ordinance should be waived to accommodate the preservation of the existing historic structures.

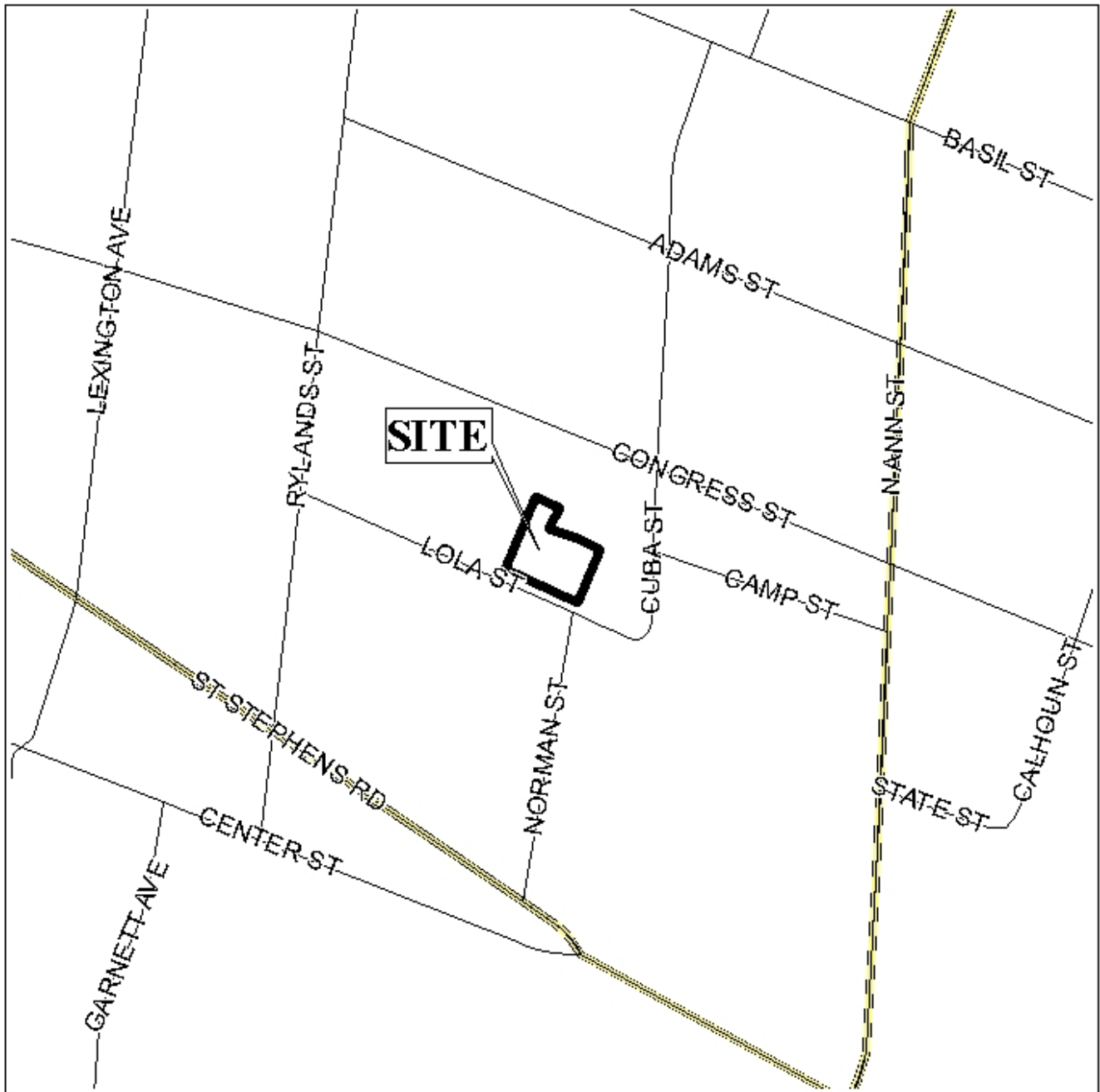
As this application is located in a federally-listed historic district, and as the proposal is accommodating existing contributing structures, the PUD aspect of the application should be considered innovative.

RECOMMENDATION

Planned Unit Development: The application is recommended for Approval, subject to the following conditions: 1) placement of a note on the site plan stating that Lots 1, 2 and 5 are limited to 35% site coverage, and that Lot 3 is limited to 41% and Lot 4 is limited to 42% site coverage; 2) depiction and labeling on the site plan and plat of a 10-foot minimum building front yard setback line for all lots; 3) depiction and labeling on the site plan of the side yard setbacks for Lots 1-4, to be based on the existing setbacks; 4) placement of a note on the site plan stating that standard side yard setbacks, adjusted for the lot width, shall apply to Lot 5; 5) depiction and labeling on the site plan of the standard 8-foot rear yard setback for all lots; 6) placement of a note on the site plan and plat stating that the shotgun structures located on Lots 1-4 are contributing structures to the Campground Historic District, as listed on the National Register of Historic Places; 7) placement of a note on the site plan and plat stating that each lot is limited to a maximum of one curb-cut, with the size, design and location to be approved by Traffic Engineering, and conform, where possible, with AASHTO standards; and 8) provision of a revised PUD site plan to the Planning Section of Urban Development prior to the signing and recording of the final plat.

Subdivision: With a waiver of Sections V.D.2. and V.D.9., this application is recommended for Tentative Approval, subject to the following conditions: 1) placement of a note on the plat stating that site coverage, side yard and rear yard setbacks are as depicted on the revised PUD site plan; 2) depiction and labeling on the plat of a 10-foot minimum building front yard setback line for all lots; 3) placement of a note on the plat stating that each lot is limited to a maximum of one curb-cut, with the size, design and location to be approved by Traffic Engineering, and conform, where possible, with AASHTO standards; and 4) placement of a note on the plat stating that the shotgun structures located on Lots 1-4 are contributing structures to the Campground Historic District, as listed on the National Register of Historic Places.

LOCATOR MAP



APPLICATION NUMBER 8 & 9 DATE December 21, 2006
APPLICANT Carpenter's Place Subdivision, Resubdivision of Lot 2
REQUEST Subdivision, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single and multi-family residential units.
Commercial sites are located to the north and south of the site.

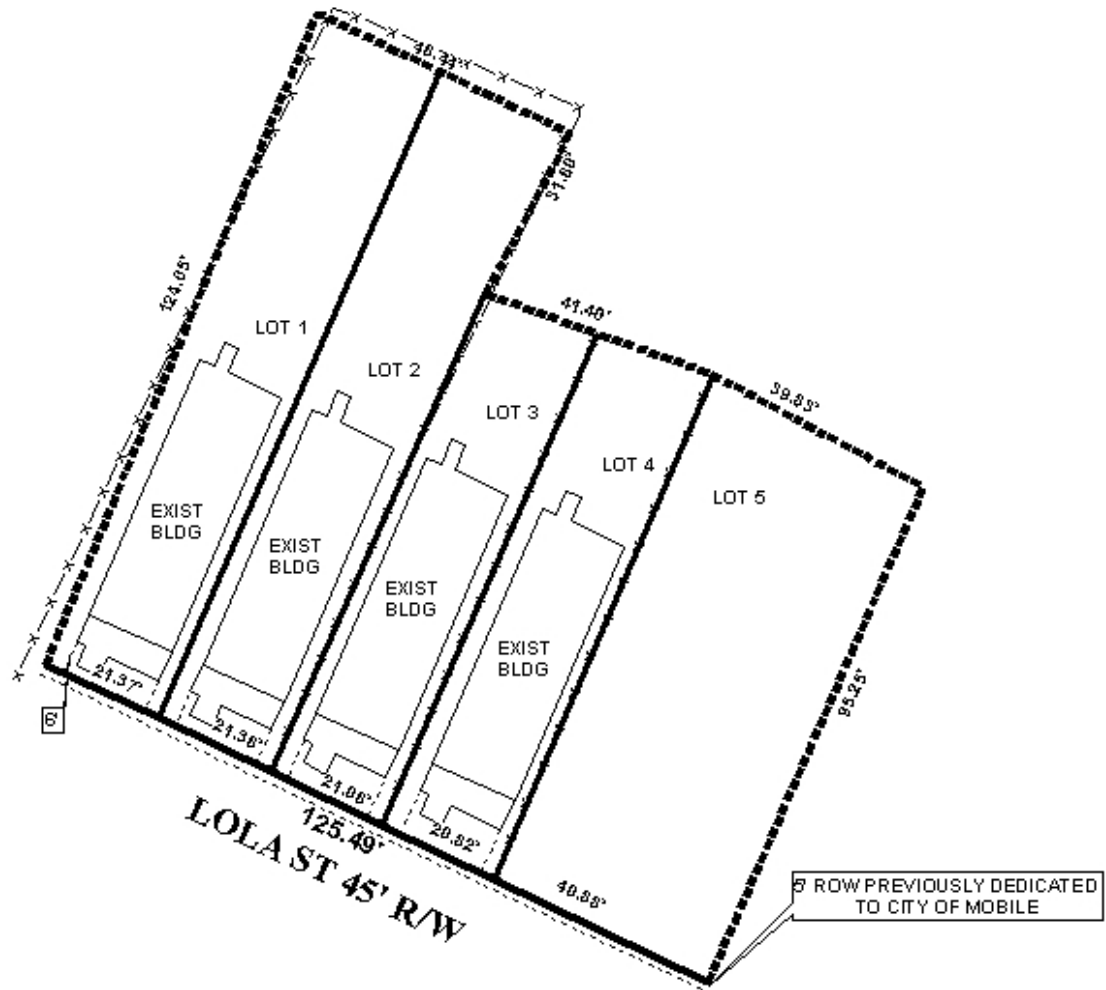
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LEGEND NTS

SITE PLAN



The site plan illustrates the existing buildings, setbacks, and proposed lot configuration

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