

WILLIS AND CROSS ROAD SUBDIVISION,
RESUBDIVISION OF LOTS 4 & 5

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide and label the monument set or found at each subdivision corner.
- C. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- D. Provide the Surveyor's Certificate and Signature.
- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- I. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- J. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat with all of the required signatures including Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

Traffic Engineering Comments: Each lot is limited to one curb cut per street frontage with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: MAWSS has only sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

Map for Mobile Development Area(s) and Intent: Industrial

- Better connectivity to surrounding areas and uses, especially neighborhoods
- Encourage compatible uses in immediately adjacent areas
- Minimize impact to existing neighborhoods

The plat illustrates the proposed 2-lot, 4.15± acre subdivision which is located on the Northwest corner of Willis Road, 995'± East of Middle Road within Council District 4. The applicant states that the subdivision is served by city water and sanitary sewer systems. The purpose of this application is to amend a previously recorded plat to alter an interior lot line between two legal lots of record.

The subject site last appeared before the Planning Commission at its July 11, 2013 meeting in which the applicant received approval to create five legal lots of record from two legal lots of record.

The subject lots front Willis Road, a paved minor street without curb and gutter. As a paved minor street without curb and gutter, this street requires a 60' wide right-of-way width. The right-of-way width is depicted as 50' on the preliminary plat and should be retained on the Final Plat, if approved, as the 2013 subdivision approval did not require dedication of right-of-way. Also, the street that is labelled as "Cross Road" should be revised to read as "Willis Road" on the Final Plat, if approved.

The subject lots front Willis Road, a paved minor street without curb and gutter. As a paved minor street without curb and gutter, this street requires a 60' wide right-of-way width. The right-of-way width is depicted as 50' on the preliminary plat; however, the 2013 subdivision approval did not require right-of-way dedication. And, for that reason, the 50' wide right-of-way width depicted on the preliminary plat should be retained on the Final Plat, if approved. Also, the street that is labelled as "Cross Road" should be revised to read as "Willis Road" on the Final Plat, if approved.

As previously stated, the applicant desires to relocate the interior lot line between the proposed Lots A and B 70'± South of its current location. The relocation of this interior lot line will increase the square footage of the proposed Lot B while reducing the square footage of the proposed Lot A. Despite this, both lots will exceed the 7,200 square foot minimum lot size requirements for lots served by public water and sanitary sewer systems. The lot size information is indicated in both square feet and in acres and should be retained on the Final Plat, if approved.

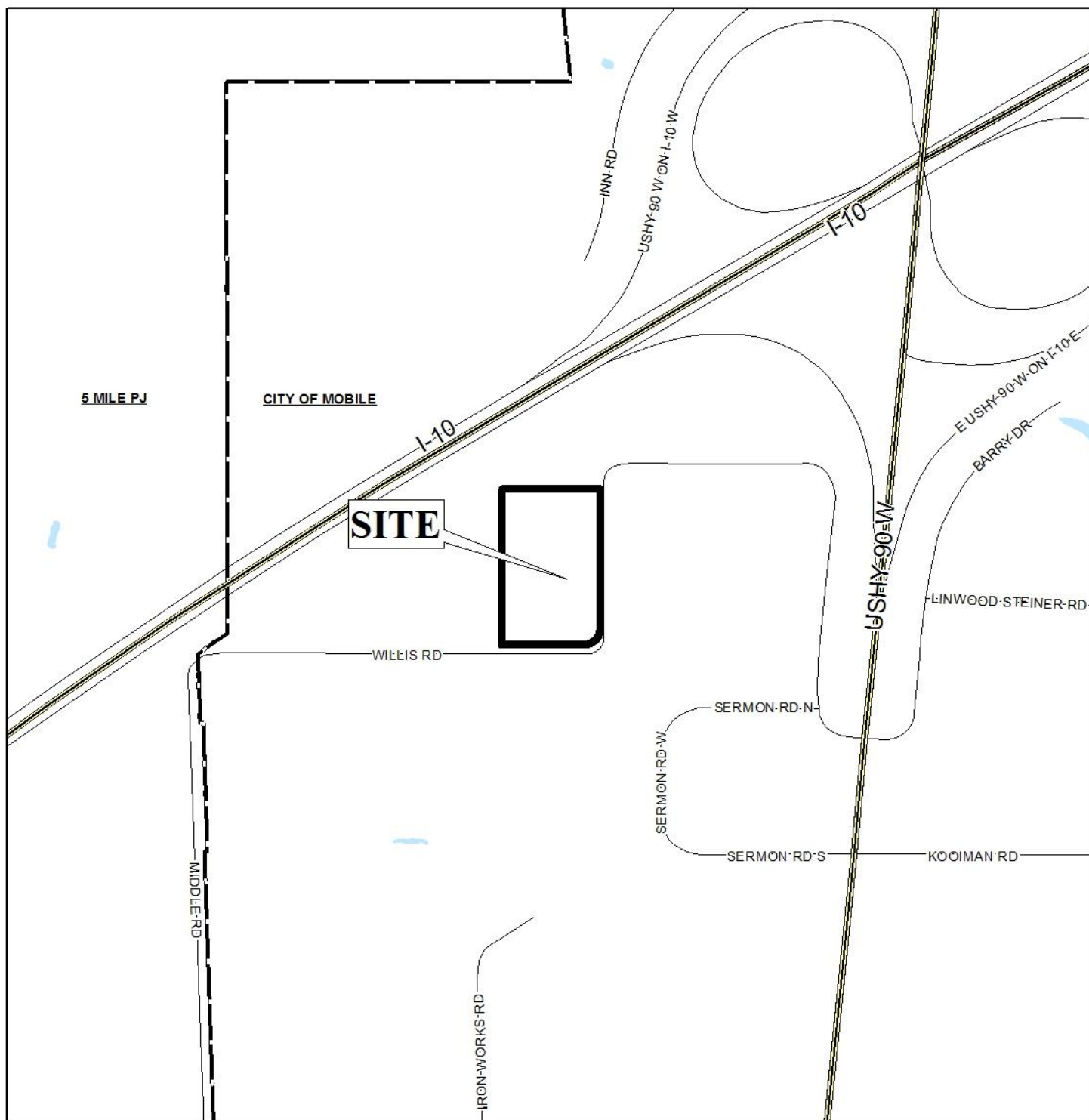
The 25-foot minimum building setback line is depicted on the preliminary plat along Willis Road, and, if approved, should be retained on the Final Plat.

As a means of access management, a note should be placed on the Final Plat stating that Lots A and B are limited to one curb cut each to Willis Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the right-of-way width along Willis Road;
- 2) Revision of the street label to read as “Willis Road” and not as “Cross Road”;
- 3) Retention of the 25-foot minimum building setback lines along Willis Road;
- 4) Retention of the lot size information in both square feet and in acres;
- 5) Placement of a note on the Final Plat stating that Lots A and B are limited to one curb cut each to Willis Road, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 6) Compliance with Engineering comments: (FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide and label the monument set or found at each subdivision corner. C. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. D. Provide the Surveyor’s Certificate and Signature. E. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures. F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. I. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. J. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat with all of the required signatures including Owner’s (notarized), Planning Commission, and Traffic Engineering signatures.);
- 7) Compliance with Traffic Engineering comments (Each lot is limited to one curb cut per street frontage with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);
- 8) Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).); and
- 9) Compliance with Fire Department comments and placement of a note (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

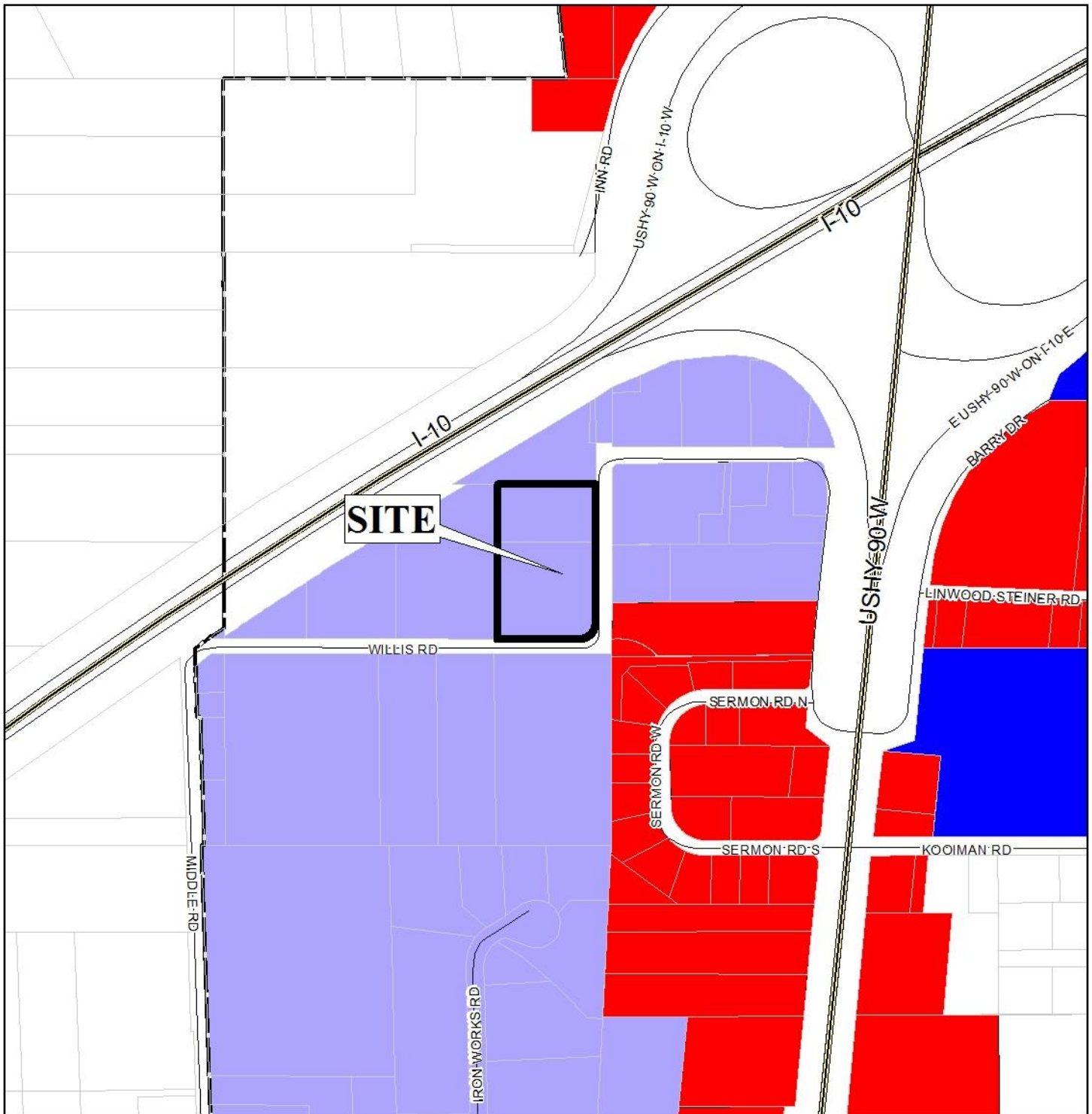
LOCATOR MAP



APPLICATION NUMBER 7 DATE December 15, 2016
 APPLICANT Willis and Cross Road Subdivision, Resubdivision of Lots 4 & 5
 REQUEST Subdivision



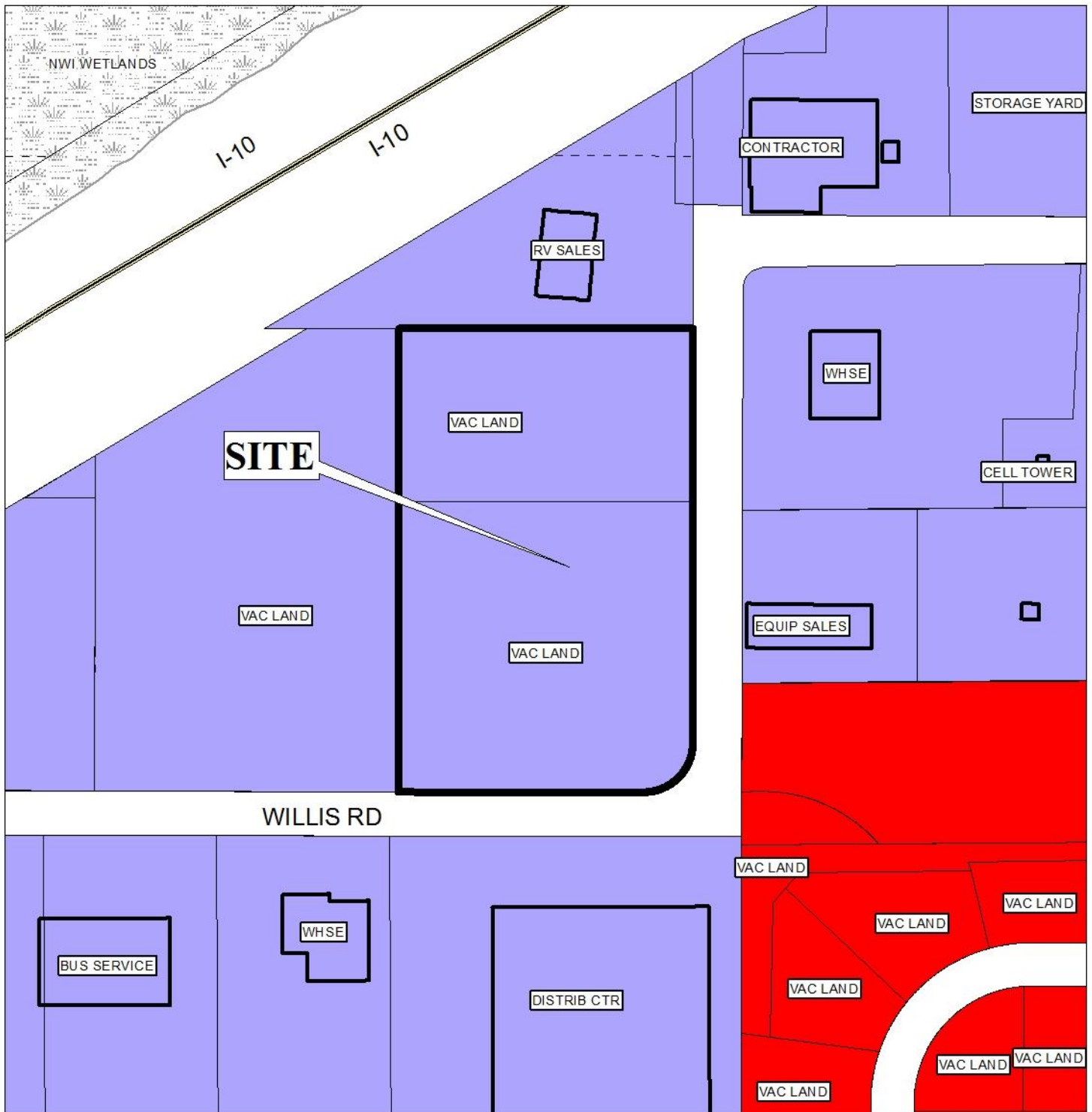
LOCATOR ZONING MAP



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 R-A	 R-3	 T-B	 B-2	 B-5	 MUN	 SD-WH	 T5.1
 R-1	 R-B	 B-1	 B-3	 I-1	 OPEN	 T3	 T5.2
 R-2	 H-B	 LB-2	 B-4	 I-2	 SD	 T4	 T6



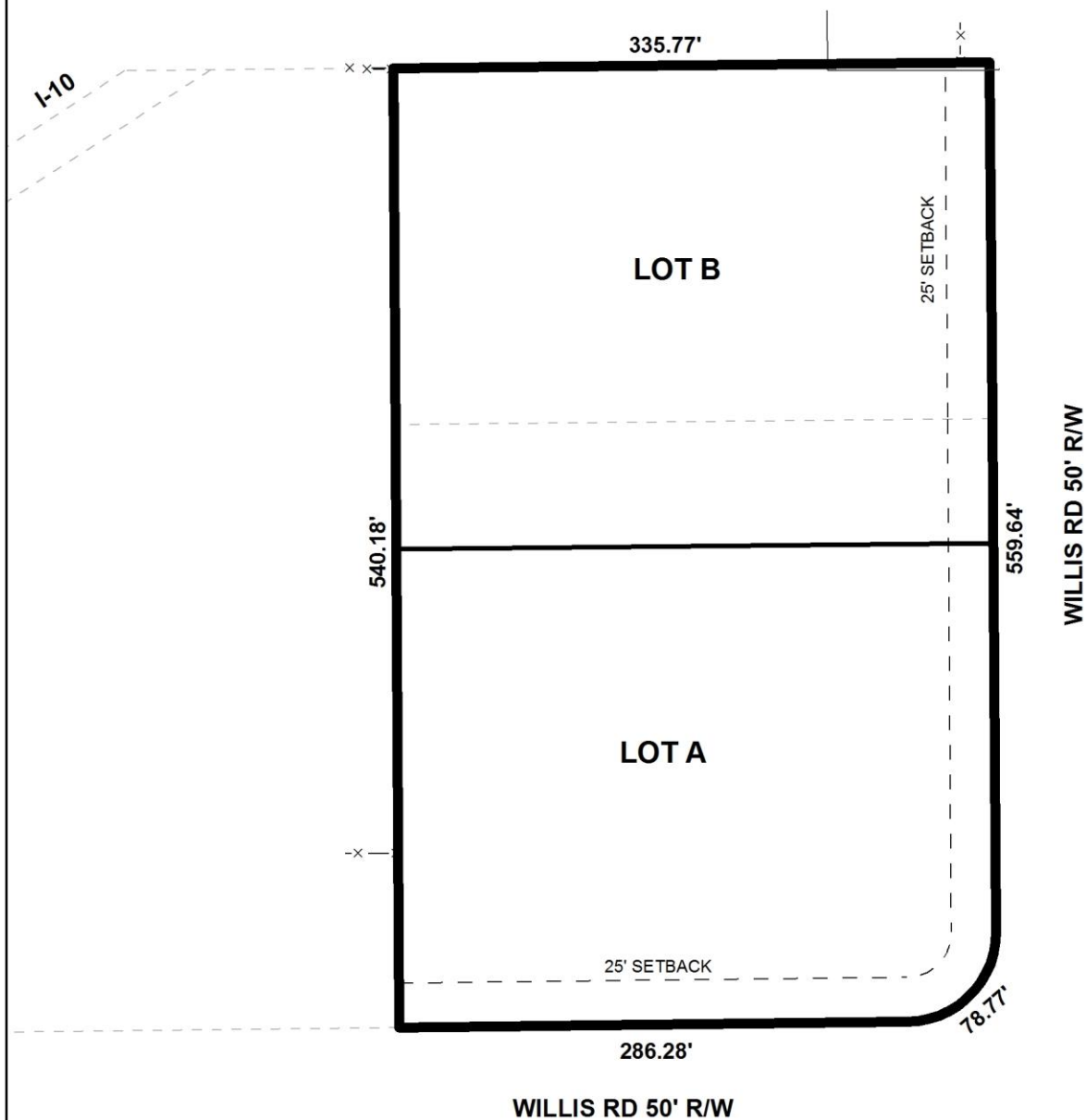
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DETAIL SITE PLAN



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REQUEST Subdivision

