

WILLIAM POPE FAMILY DIVISION SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWSS Comments: MAWSS has **No** water or sewer services available.

The preliminary plat illustrates the proposed 2-lot, 2.4± acre subdivision which is located on the West side of Baird Coxwell Road, ¼± mile South of McLeod Road. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and an individual septic tanks.

This site most recently appeared before the Planning Commission at its March 6, 2014 meeting where the Commission approved as the First Addition to William Pope Subdivision, a 1-lot, 1.0± acre subdivision, which was created from a portion of a large metes-and-bounds parcel. The intent of this application is to reconfigure an internal lot line to enlarge an existing lot, William Pope Subdivision, and to create a flag-shaped lot. Per Section V.D.1. of the Subdivision Regulations, flag lots are generally not allowed, but may be permitted in the case of a family division. The applicant states that this configuration already exists and should be considered a “family division” since the proposed flag-shaped lot will be used by his son; however, a waiver of Sec. V.D.1. will be required for approval. The remaining portion of the large 35± acre metes-and-bounds parcel is labeled future development, and must receive Subdivision Approval from the Planning Commission prior to development.

It should be pointed out that the configuration of William Pope Subdivision and First Addition exists with 50’ between them to allow for construction of a road for future (now) subdivision of the future development area. The proposed configuration reduces that 50’ to 37’± to access the proposed new lot. This limits the ability for future resubdivision of the future development area.

In accordance with the Subdivision Regulations, the proposed lots exceed the minimum lot size requirements and the 25’ minimum building setback line is depicted on the preliminary plat. Both should be retained on the Final Plat; however, the 25’ minimum building setback should be depicted as a box where the “pole” meets the “flag” portion of the lot, if approved.

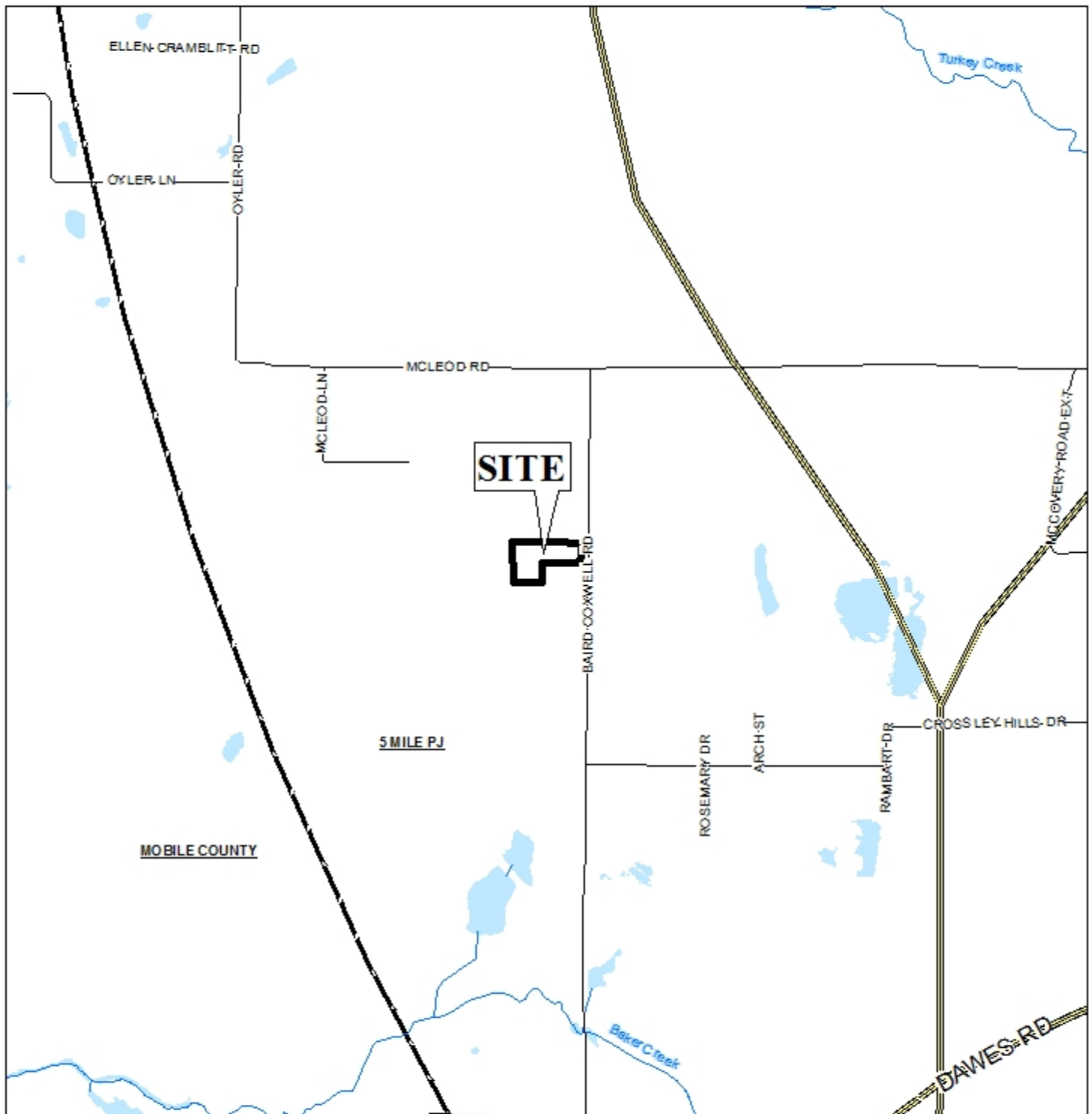
The proposed lot fronts Baird Coxwell Road, a minor street without curb or gutter. The existing 60' right-of-way width is compliant and as a result, no dedication is needed. It appears that both proposed lots have existing curb-cuts to Baird Coxwell Road. As such, a note should be placed on the Final Plat limiting both lots to the existing curb-cuts, with any changes to the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. This note should be placed on the Final Plat, if approved.

With a waiver of Section V.D.1. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Revision of the 25' minimum building setback line for Lot 2, to be depicted as a box where the "flag" meets the "pole" of the lot, and retained elsewhere;
- 2) Retention of the lot size in square feet and acres on the Final Plat;
- 3) Placement of a note on the Final Plat stating: Both lots are limited to the existing curb-cuts to Baird Coxwell Road, with any changes to the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 4) Placement of a note on the Final Plat stating: This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 5) Compliance with Engineering Comments (*Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.*); and
- 6) Compliance with Fire-Rescue Department Fire Comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.*).

LOCATOR MAP



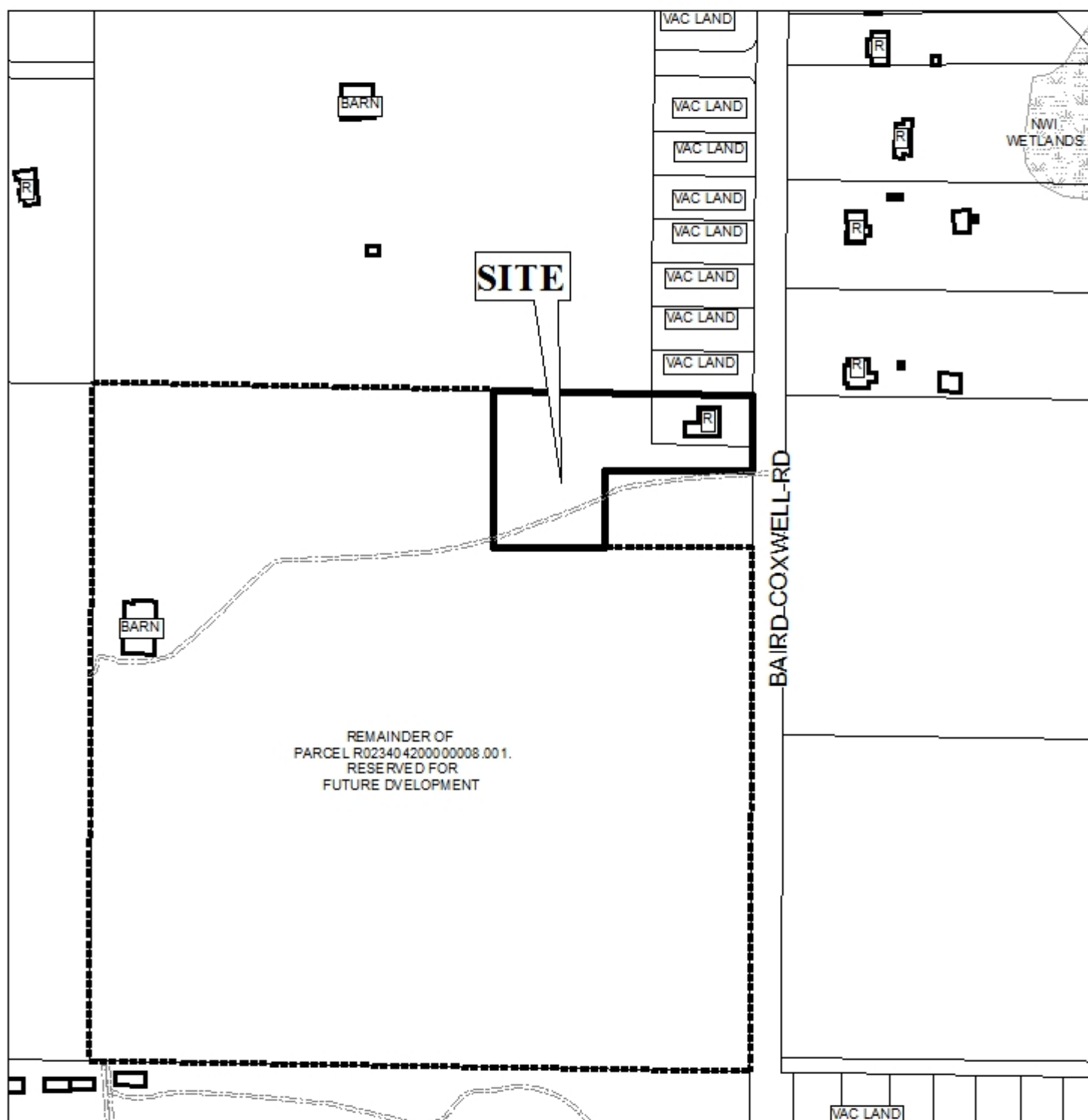
APPLICATION NUMBER 7 DATE May 7, 2015

APPLICANT William Poe Family Division Subdivision

REQUEST Subdivision



WILLIAM POE FAMILY DIVISION SUBDIVISION

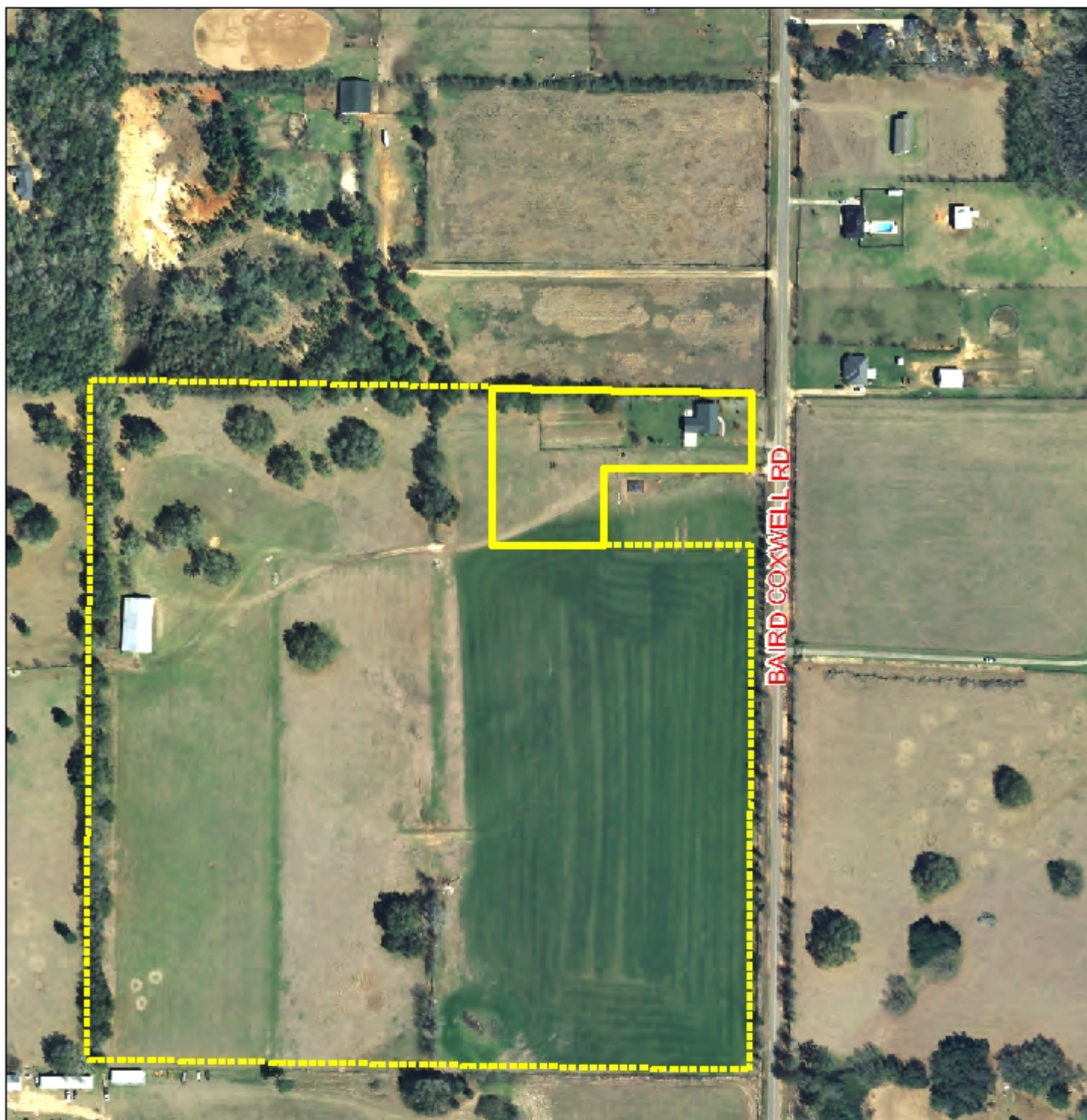


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



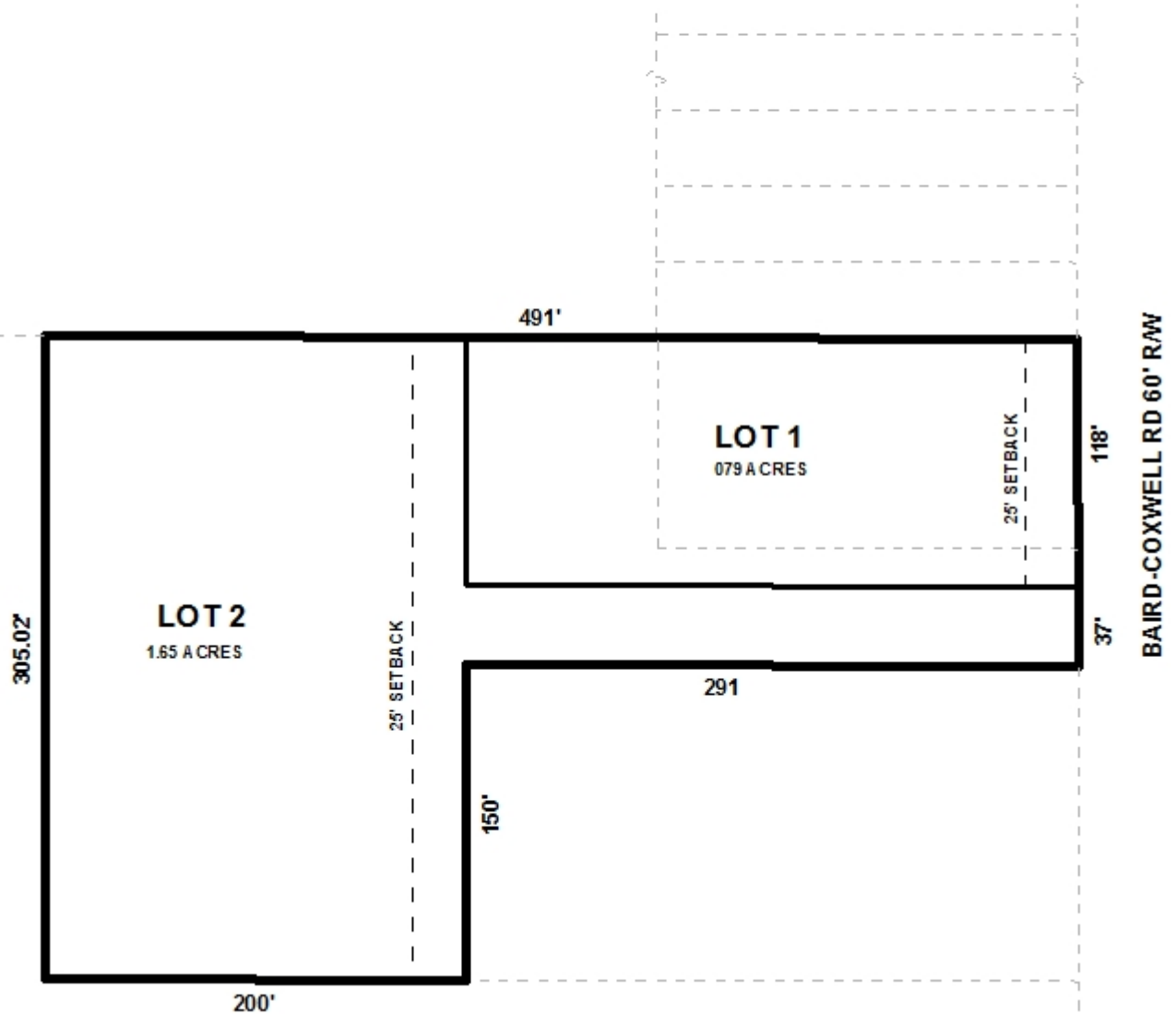
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DETAIL SITE PLAN



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