

**SIDEWALK WAIVER REQUEST  
STAFF REPORT****Date: January 6, 2011****NAME**

William C. Hall / Trent Hall

**LOCATION**1514 & 1520 West I-65 Service Road South  
(West side of West I-65 Service Road South, 860'± South  
of Cottage Hill Road)**PRESENT ZONING**

B-3, Community Business District

**ENGINEERING  
COMMENTS**

Recommend approval of sidewalk waiver. Applicant proposing to install drainage and partially fill existing ditch but due to lack of curb & gutter a swale is still required to capture street water and based on proposed contours construction of a city standard sidewalk within the ROW is not practical.

**URBAN FORESTRY  
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**REMARKS**

The applicant is requesting a waiver for the construction of a sidewalk along West I-65 Service Road South.

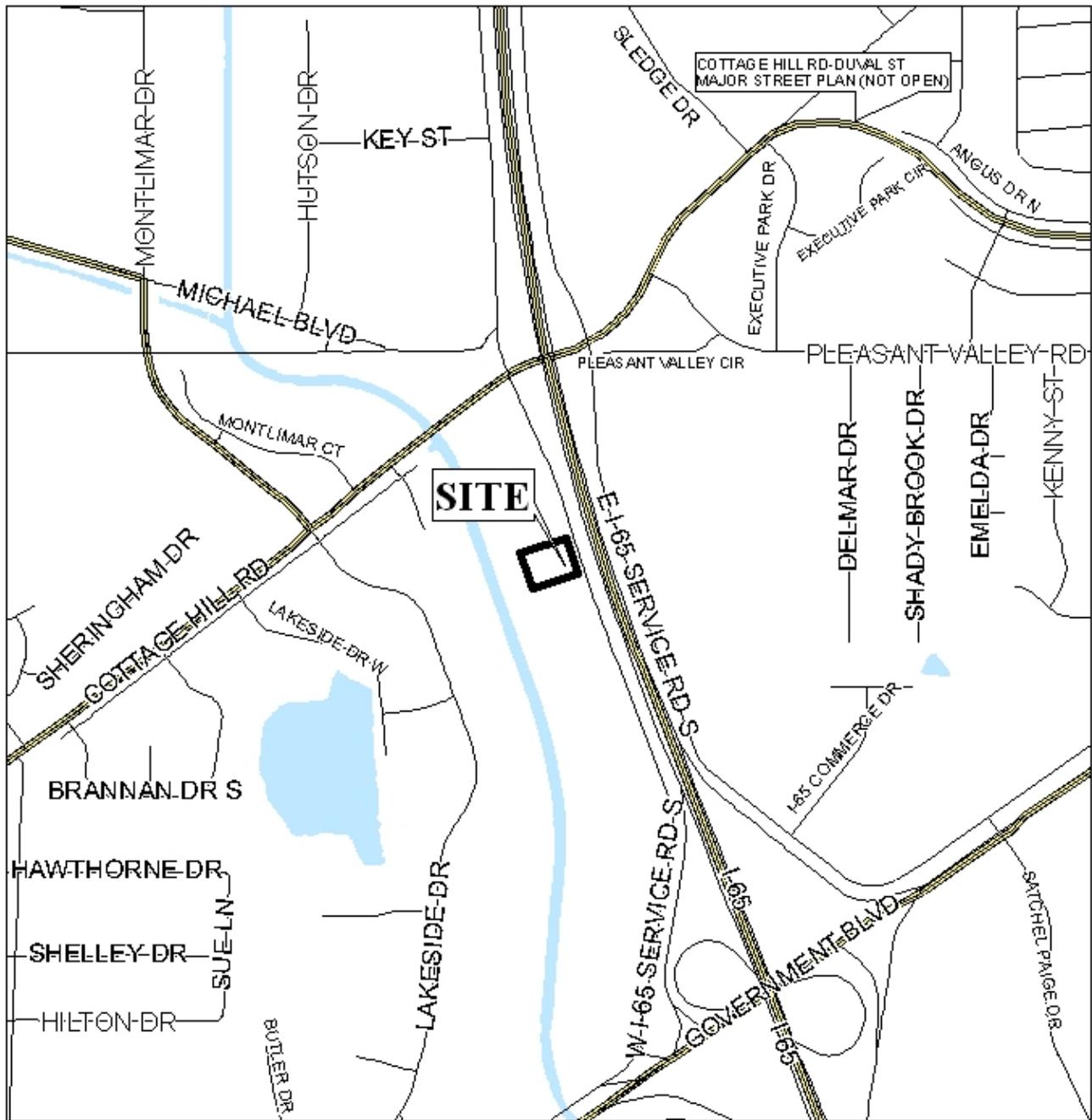
The sidewalk waiver site is located in a heavily commercial area, with the nearest residential zone being approximately 1000 feet away, across Interstate 65. The nearest sidewalks which are constructed are approximately 850 feet to the North at the intersection of West I-65 Service Road South and Cottage Hill Road. The Planning Commission has approved sidewalk waiver applications along West I-65 Service Road South in the general vicinity of this site in the past.

City of Mobile Engineering has recommended approval of the sidewalk waiver. Engineering states that the applicant is proposing to install drainage and partially fill existing ditch but due to the lack of curb and gutter a swale is still required to capture street water. This face, along with the proposed contours after ditch fill, indicate that construction of a city standard sidewalk within the ROW is not practical.

**RECOMMENDATION**

Based upon the preceding, this application for waiver of the sidewalk along West I-65 Service Road South is recommended for approval.

# LOCATOR MAP



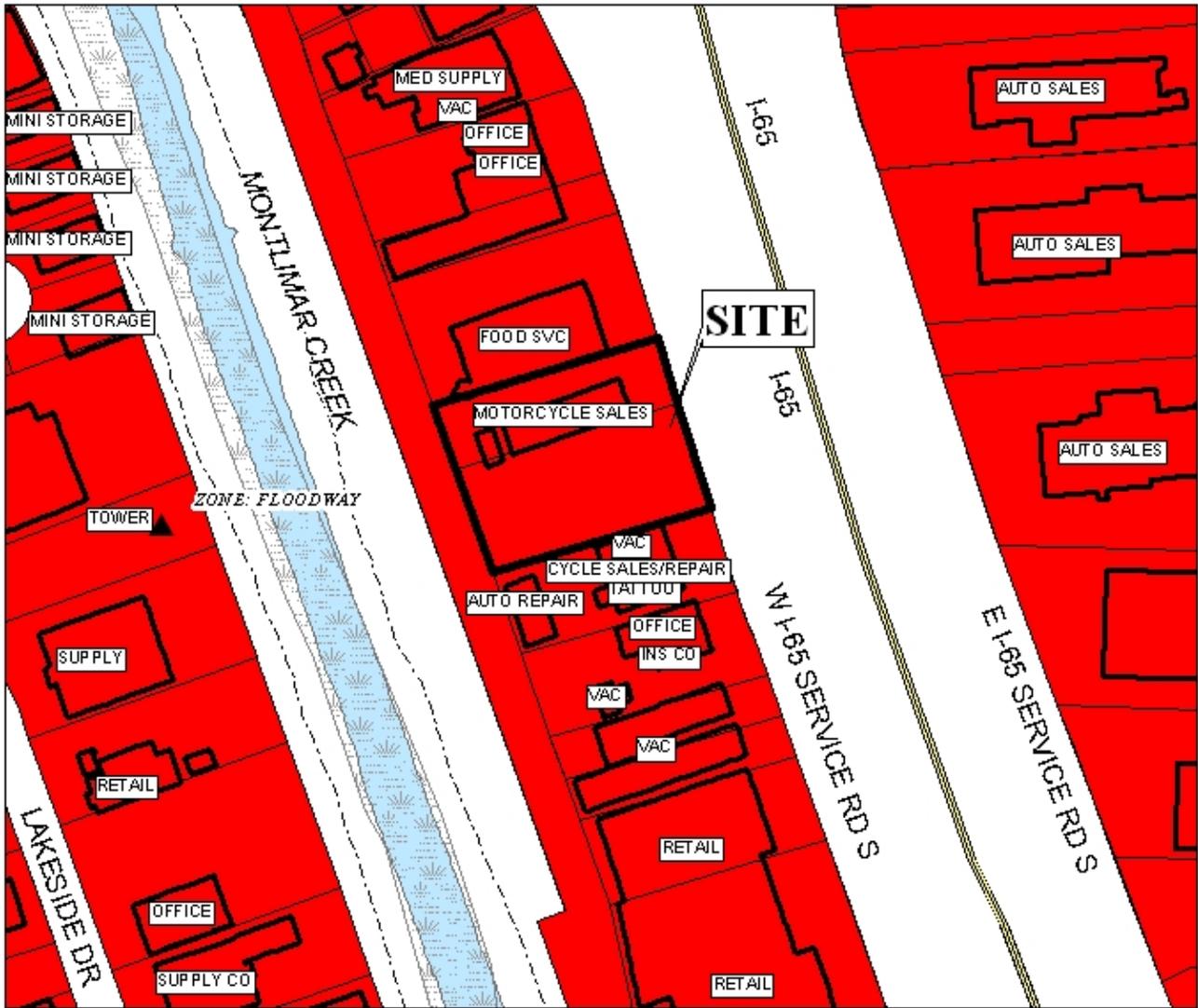
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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Miscellaneous small businesses are located to the north and south of the site.

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LEGEND  R-1  R-2  R-3  R-A  R-B  H-B  T-B  B-1  LB-2  B-2  B-3  B-4  B-5  I-1  I-2

N  
NTS

**PLANNING COMMISSION  
VICINITY MAP - EXISTING ZONING**



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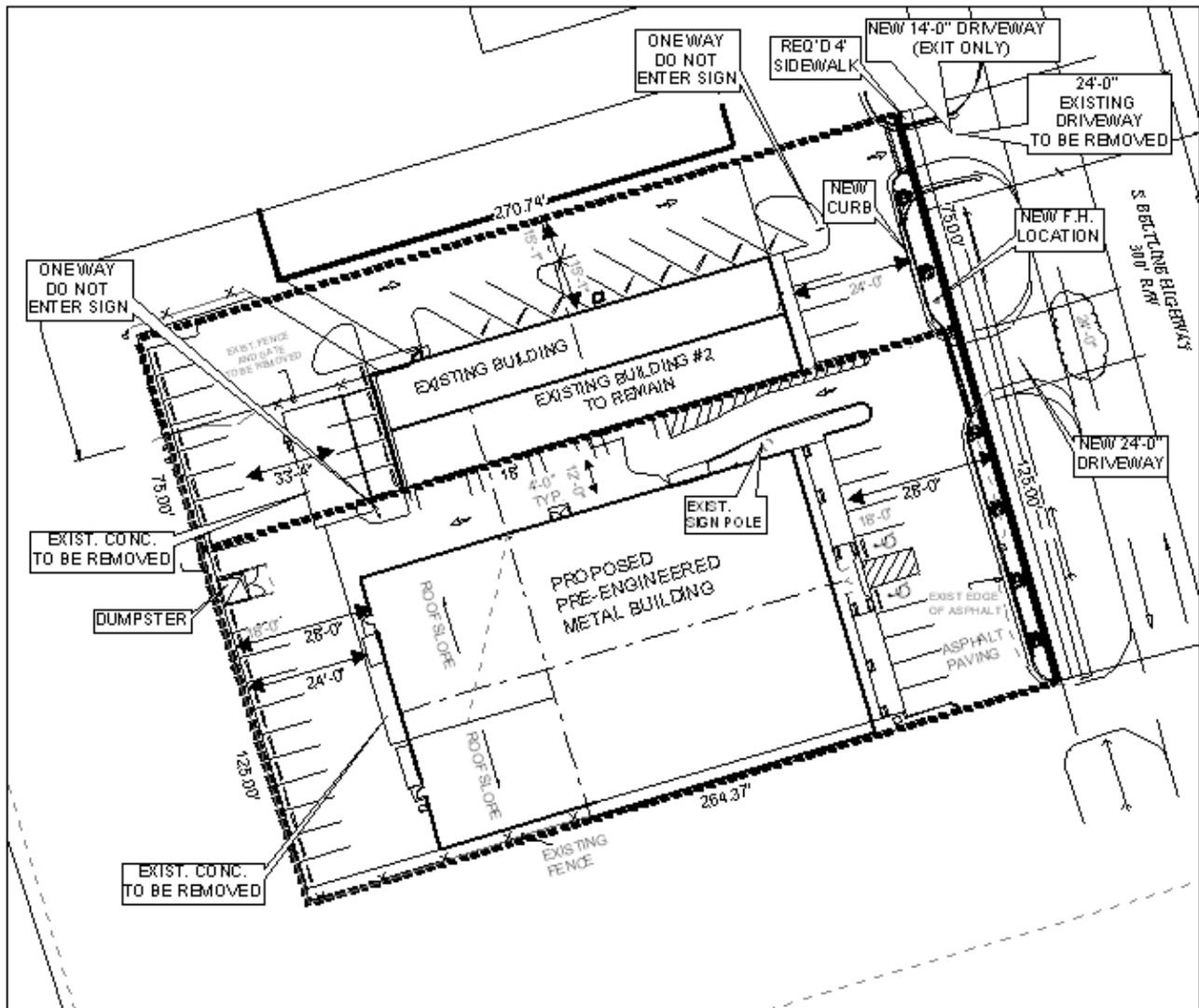
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# SITE PLAN



The site plan illustrates the existing and proposed structures, signs, parking, and drives.

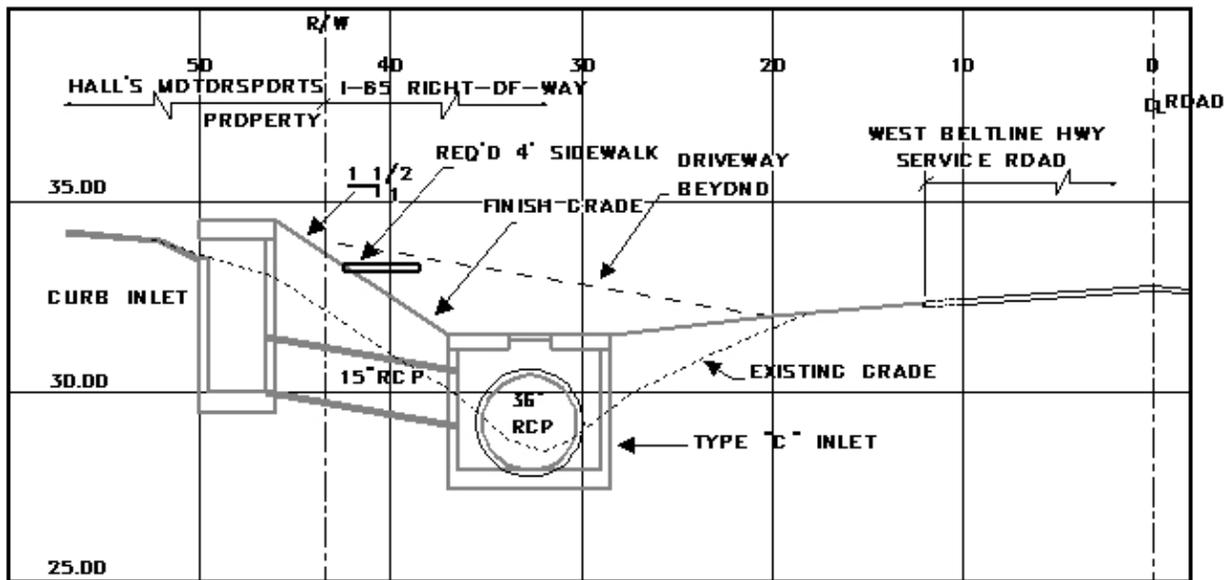
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# SIDEWALK CROSS SECTION



(LOOKING NORTH)

CROSS SECTION

HORIZ - 1/4" = 1'-0"

VERT - 1/4" = 8'-0"

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