

VIKING PLACE SUBDIVISION, PHASE II

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 22 lot, 7.2 ± acre subdivision which is located at the South terminus of Eric Drive. The subdivision is served by both public water and sewer.

The purpose of this application is to subdivide a portion of a parcel into 22 lots. The site is part of the over all Viking Place Subdivision that was approved by the Planning Commission on February 19th, 2004. A 31-lot "Phase I" was recorded in October 2005.

Two of the conditions of the original 2004 approval are pertinent for the application under consideration. The first is a requirement of a traffic circle near the midpoint of the proposed extension of Eric Drive. The second is that what is now labeled as "Lot A" be shown as a lot on the final plat, however, "Lot A" was not included in the first recorded phase, and does not appear to be intended to be a part of this application (as it is labeled "future development").

Due to the previous issues related to Lot A, the applicant should either remove the "lot" label and indicate that the area is in fact "future development," or should include the area as a lot, and thus part of this application.

The site fronts onto a street stub of Eric Drive, a minor street with adequate right-of-way. The extension of Eric Drive into the proposed development will create a cul-de-sac approximately 800 feet long, that exceeds the 600 foot length recommended in Section V.B.6. of the Subdivision Regulations. With the provision of a traffic calming device approved by Mobile County Engineering near the midpoint of Eric Drive, a waiver of Section V.B.6. may be appropriate.

The Lot A portion of the site fronts onto Snow Road and Wulff Road, both proposed major streets. Each proposed major street requires a 100-foot wide right-of-way, therefore sufficient right-of-way should be dedicated to provide 50-feet, as measured from the centerline of each road. Furthermore, the property line corner at the intersection of the two roads should be designed to comply with Section V.D.6. of the Subdivision Regulations. The minimum building setback line should be depicted for Lot A.

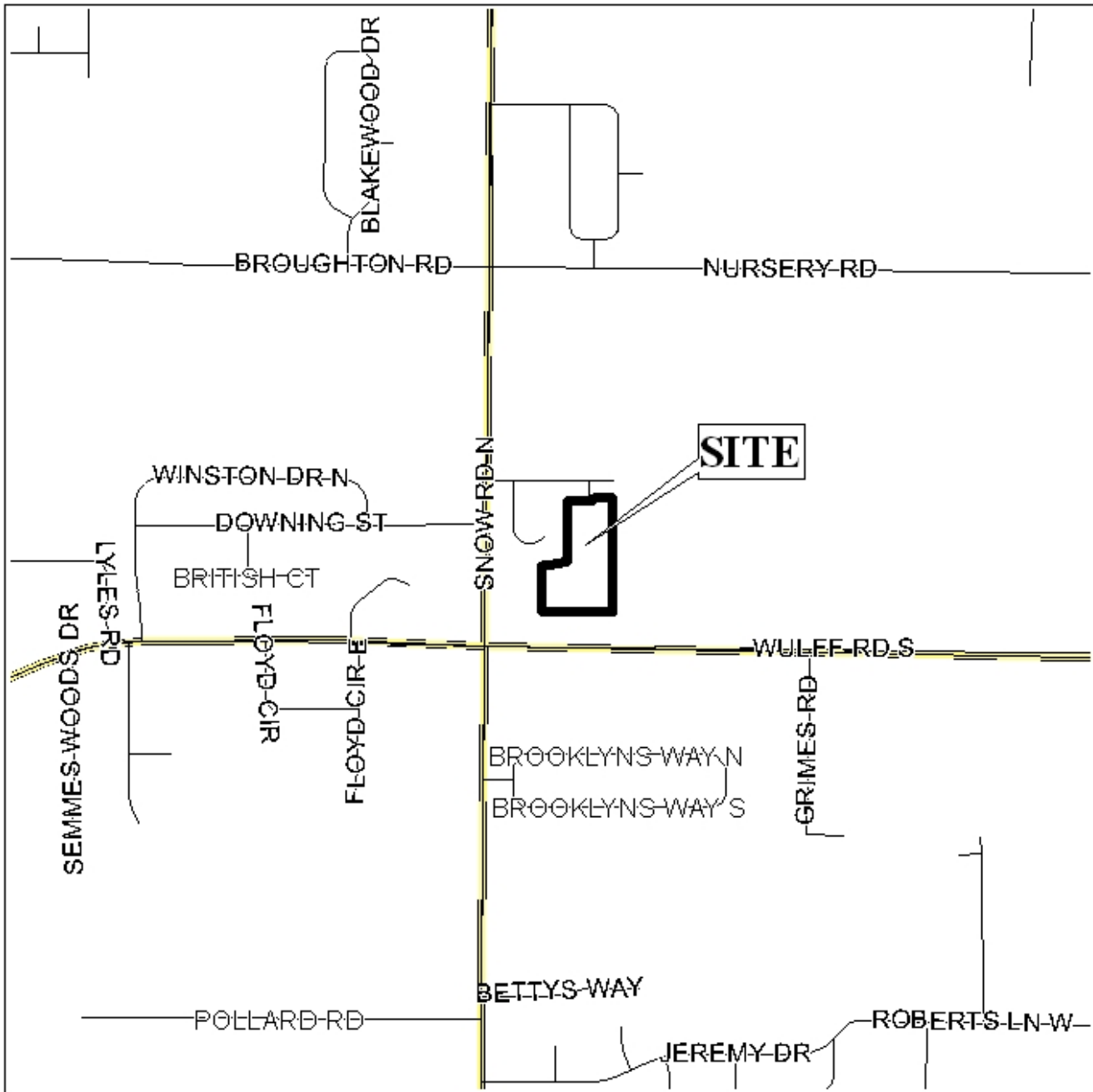
This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Stormwater facilities are depicted on the plat, however, compliance with the City of Mobile stormwater and flood control ordinances may be required. A letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances should be submitted to the Planning Section of Urban Development prior to the signing of the final plat, if approved.

While all lots appear to meet minimum size requirements, the plat should be revised to label each lot with the size in square feet, or provide a table on the plat with the same information.

With a waiver of Section V.B.6., this application is recommended for Tentative Approval, subject to the following conditions: 1) provision of a traffic calming device near the midpoint of Eric Drive, with the size, design and location to be approved by Mobile County Engineering; 2) labeling of Lot A as “future development” only, or inclusion as a lot for this application; 3) dedication of right-of-way sufficient to provide 50-feet, as measured from the centerline, for both Snow Road and Wulff Road; 4) revision of the property line corner at the intersection of the two roads to comply with Section V.D.6. of the Subdivision Regulations; 5) placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; 6) provision of a letter of certification from a licensed engineer to the Planning Section of Urban Development, certifying that the stormwater detention and drainage facilities comply with the City of Mobile stormwater and flood control ordinances, prior to the signing and recording of the final plat; and 7) labeling of all lots with size in square feet, or provision of a table with the lot size information on the plat.

LOCATOR MAP



APPLICATION NUMBER 7 DATE October 5, 2006

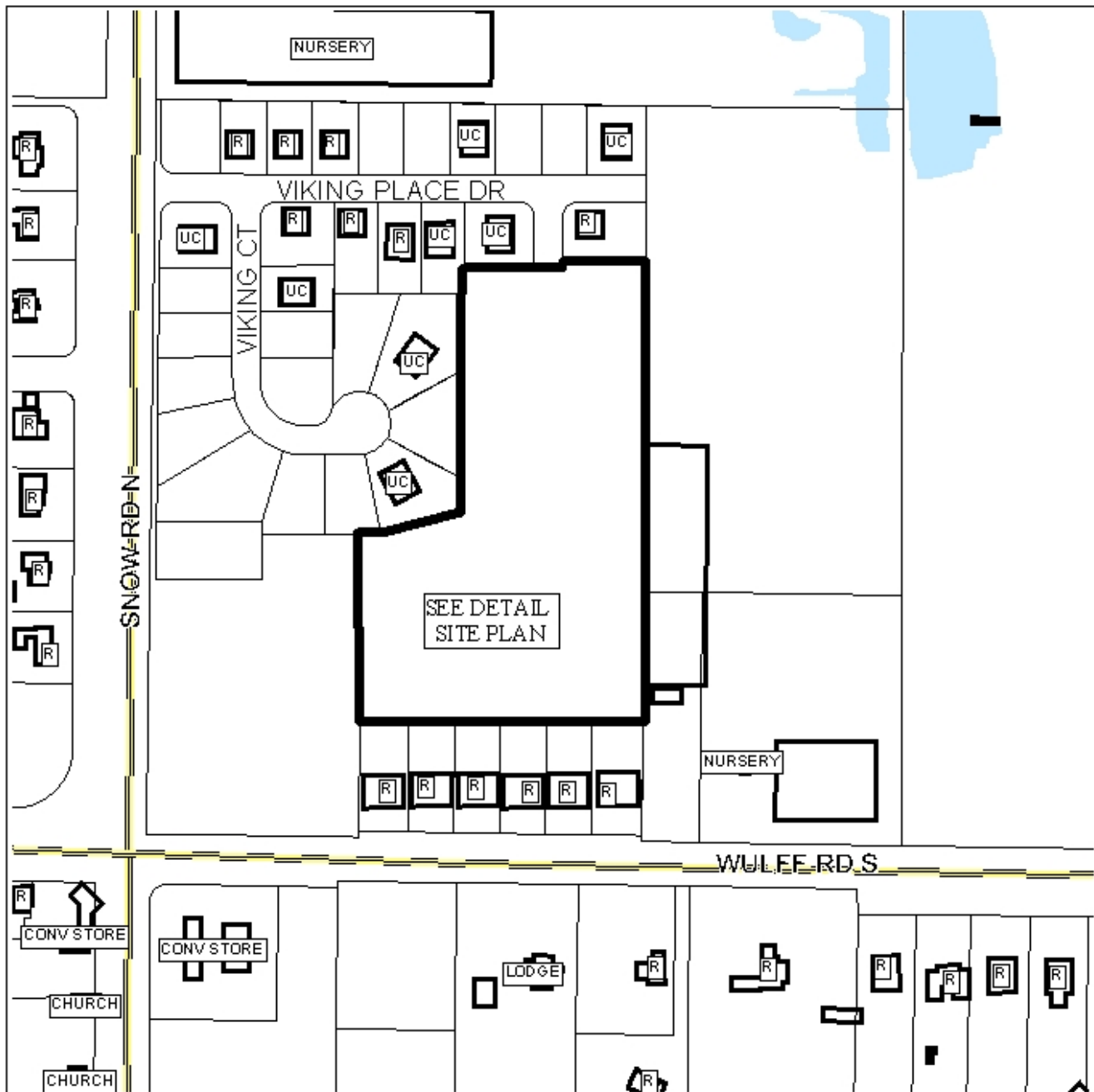
APPLICANT Viking Place Subdivision, Phase II

REQUEST Subdivision



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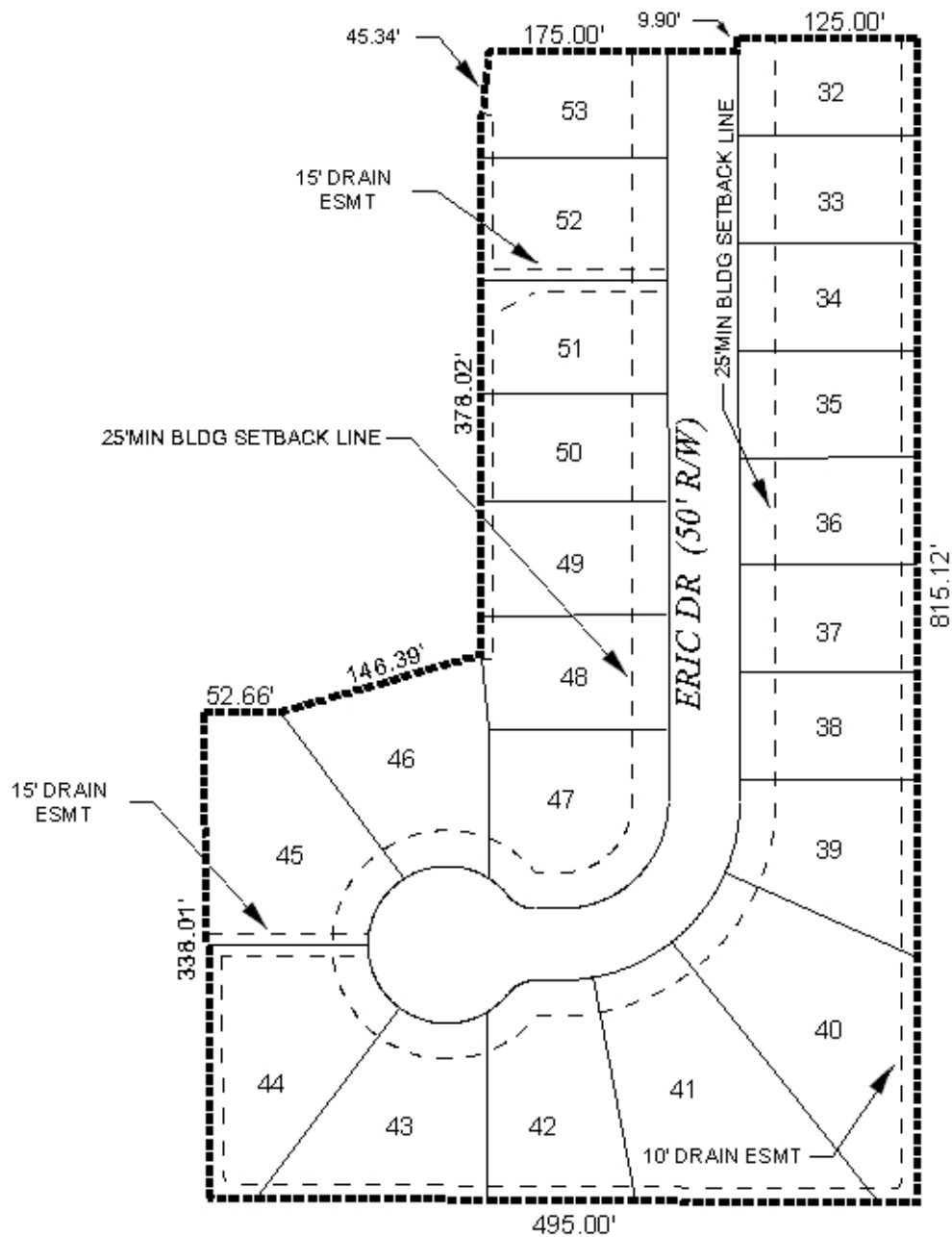
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

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DETAIL SITE PLAN



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