

TRICON SUBDIVISION

Engineering Comments: It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water & Sewer System Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 0.9± acre, one lot subdivision, which is located on the North side of Spring Hill Avenue, 205'± West of Spring Hill Plaza Court, in city council district 7. The subdivision is served by city water and sanitary facilities.

The purpose of this application is to create a legal lot of record from two metes and bounds parcels. One parcel is the property as it has existed for many years, and the other is a vacated 40' right-of-way service road along the North side of Spring Hill Avenue in front of the main property. A copy of the right-of-way vacation resolution adopted by the City Council on March 15, 2007 was furnished with the application.

The site fronts Spring Hill Avenue which has a 100' right-of-way in this area, compliant with the Major Street Plan. Therefore, no right-of-way dedication is required. The plat did not indicate a minimum building setback line; therefore, a 25' minimum building setback line along Spring Hill Avenue should be depicted on the final plat.

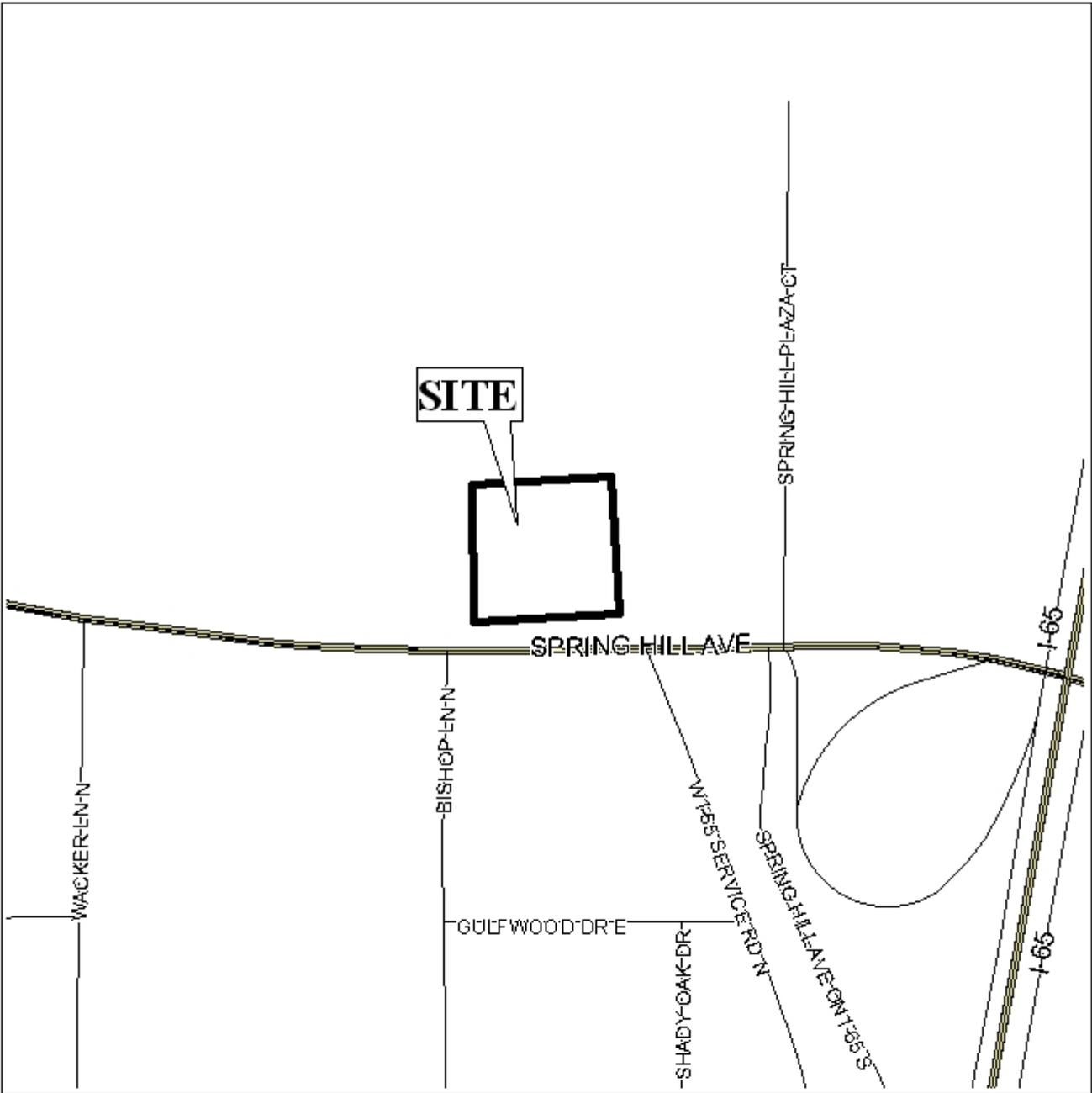
The site has two existing curb cuts to Spring Hill Avenue and this would be consistent with the allowance for the 200'+ street frontage. A note should be placed on the final plat stating that the site is limited to two curb cuts with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

No lot size was indicated on the plat; therefore the final plat should be revised to label the lot with its size in square feet, or a table should be provided with the same information.

Based on the preceding, the plat meets the requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

1. the depiction on the final plat of the 25' front setback line along Spring Hill Avenue;
2. labeling of the lot with its size in square feet, or the provision of a table on the final plat with the same information;
3. placement of a note on the final plat stating that the site is limited to two curb cuts, with the size, location, and design to be approved by Traffic Engineering, and conform to AASHTO standards; and
4. subject to the Engineering Comments (*It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*)

LOCATOR MAP



APPLICATION NUMBER 7 DATE September 6, 2007

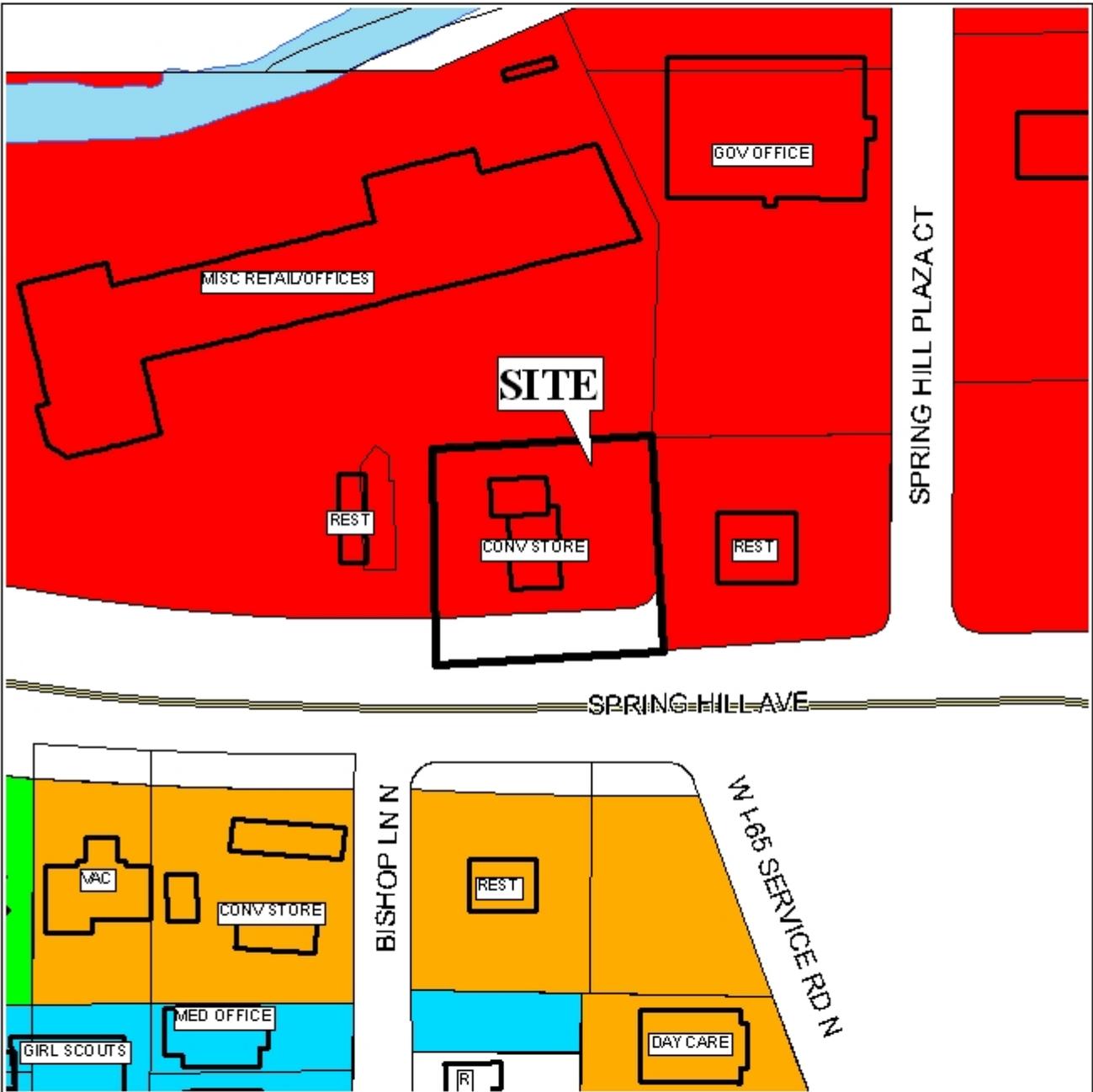
APPLICANT Tricon Subdivision

REQUEST Subdivision



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TRICON SUBDIVISION



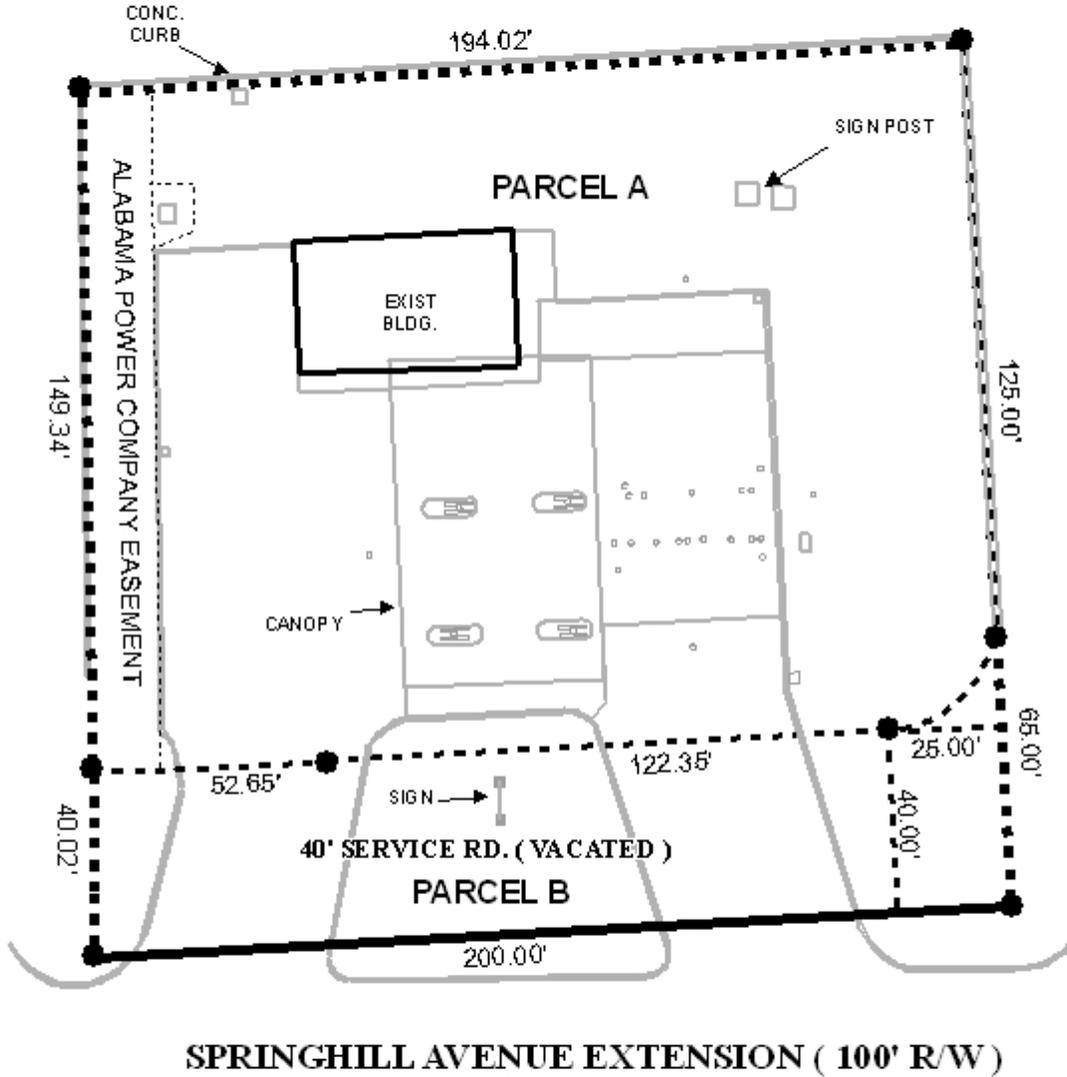
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LEGEND	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
	[White Box]	[Yellow Box]	[Green Box]	[Cyan Box]	[Light Orange Box]	[Pink Box]	[Tan Box]	[Light Blue Box]	[Purple Box]	[Orange Box]	[Red Box]	[Brown Box]	[Dark Blue Box]	[Light Purple Box]	[Grey Box]



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DETAIL SITE PLAN



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 REQUEST Subdivision

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