

## **SKCO SUBDIVISION, RESUBDIVISION OF**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 17 - #77) the Lot(s) will receive the following historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.

Traffic Engineering Comments: Lot 1 is limited to two curb cuts to Airport Boulevard and one curb cut to Border Circle West, with size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Lot 2 is limited to its existing curb cut to Border Circle West, with size, location and design to be approved by Mobile County Engineering.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status is to be given to the 55" Live Oak Tree located on the South West side of Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWSS Comments: No comments.

The plat illustrates the proposed 2 lot, 4.62 ± acre subdivision which is located at the Northwest corner of Airport Boulevard and Border Circle West, primarily in Council District 7, but partially in the County. The applicant states that the subdivision is served by both public water and sanitary sewer.

SKCO Subdivision was approved by the Commission as a one-lot Subdivision in November, 2007. Since then, it has been divided into three separate parcels without going through the Subdivision process. The applicant now wishes to resubdivide most of the original lot into one lot of record while adding an adjacent parcel not originally included to create Lot 1, and separating a small portion which was originally included into a separate lot of record to create Lot 2.

It should be noted that proposed Lot 2 would partially be located within the Mobile City limits and partially within the County. While SKCO Subdivision was originally approved with this split in its Northeast corner, it was done so at a time shortly after the Western annexation of the City in 2007 and no requirement was placed upon the Subdivision approval to also annex that portion into the City prior to signing the Final Plat. Policy now is to not allow the creation of new lots split between jurisdictions. Proposed Lot 2 currently contains a residence located within the County and the applicant states *"We are trying to add some rear property to the existing home site. We are asking that the jurisdiction line be moved around Lot 2 to place all of this property in the county since the residence lies in Mobile County."* Therefore, if this Subdivision is approved, it should be contingent upon the de-annexation of the rear portion of Lot 2 from the City and into the County.

The site fronts both Airport Boulevard and Border Circle West, with 140' and 50' rights-of-way respectively, compliant with Section V.B.14. of the Subdivision Regulations. Therefore, no right-of-way dedication is required along most of the frontages. However, as indicated on the plat, a corner radius of 25' should be dedicated at the Northwest corner of Airport Boulevard and Border Circle West.

The site has street frontage of 394'± on Airport Boulevard and 298'± on Border Circle West. As a means of access management, Lot 1 should be limited to two curb cuts to Airport Boulevard and one curb cut to Border Circle West, with size, location, and design to be approved by Traffic Engineering. Lot 2 should be limited to its existing curb cut to Border Circle West, with size, location and design to be approved by Mobile County Engineering.

As on the plat, the lot sizes in both square feet and acres should be retained on the Final Plat, adjusted for any required dedication, or a table should be furnished on the Final Plat providing the same information. And as on the plat, the 25' minimum building setback line should be retained on the Final Plat along all street frontages.

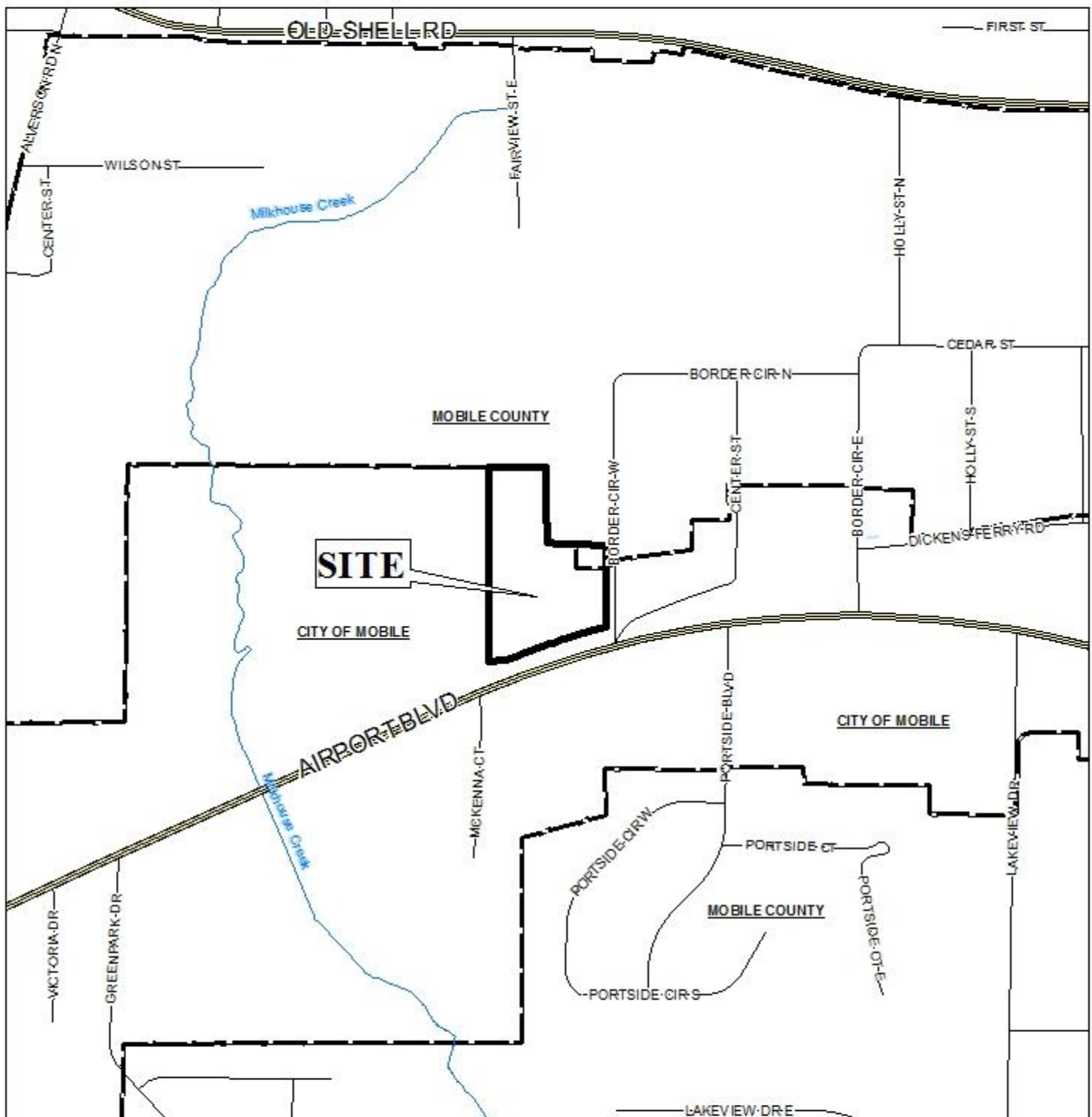
A note should be required on the Final Plat stating that a buffer, in compliance with Section V.A.8. of the Subdivision Regulations, shall be provided along all portions of Lot 1 bordering on residential properties within the County. A note should also be required on the Final Plat stating that if Lot 2 is developed commercially, a buffer, in compliance with Section V.A.8. of the Subdivision Regulations, must be provided where that lot adjoins residential property.

Based upon the proceeding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) de-annexation of the rear portion of Lot 2 from the City of Mobile into the County prior to signing the Final Plat;
- 2) dedication of a 25' corner radius at the Northwest corner of Airport Boulevard and Border Circle West;
- 3) placement of a note on the Final Plat stating that Lot 1 is limited to two curb cuts to Airport Boulevard and one curb cut to Border Circle West, and Lot 2 is limited to one curb cut to Border Circle West, with the size, location and design to be approved by Traffic Engineering;
- 4) retention of the labeling of the lot sizes in both square feet and acres, adjusted for any required dedication, or the furnishing of a table on the Final Plat providing the same information;
- 5) retention of the 25' minimum building setback line along all street frontages on the Final Plat;
- 6) placement of a note on the Final Plat stating that a buffer, in compliance with Section V.A.8. of the Subdivision Regulations, shall be provided along all portions of Lot 1 bordering on residential properties within the County;
- 7) placement of a note on the Final Plat stating that if Lot 2 is developed commercially, a buffer, in compliance with Section V.A.8. of the Subdivision Regulations, shall be provided where the lot borders residential properties;
- 8) subject to the Engineering comments: *[ The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 17 - #77) the Lot(s) will receive the following historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.];*
- 9) subject to the Traffic Engineering comments: *(Lot 1 is limited to two curb cuts to Airport Boulevard and one curb cut to Border Circle West, with size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Lot 2 is limited to its existing curb cut to Border Circle West, with size, location and design to be approved by Mobile County Engineering.);*

- 10) subject to the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 55" Live Oak Tree located on the South West side of Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.]; and*
- 11) subject to the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.).*

# LOCATOR MAP



APPLICATION NUMBER 7 DATE February 5, 2015

APPLICANT SKCO Subdivision, Resubdivision of

























REQUEST Subdivision



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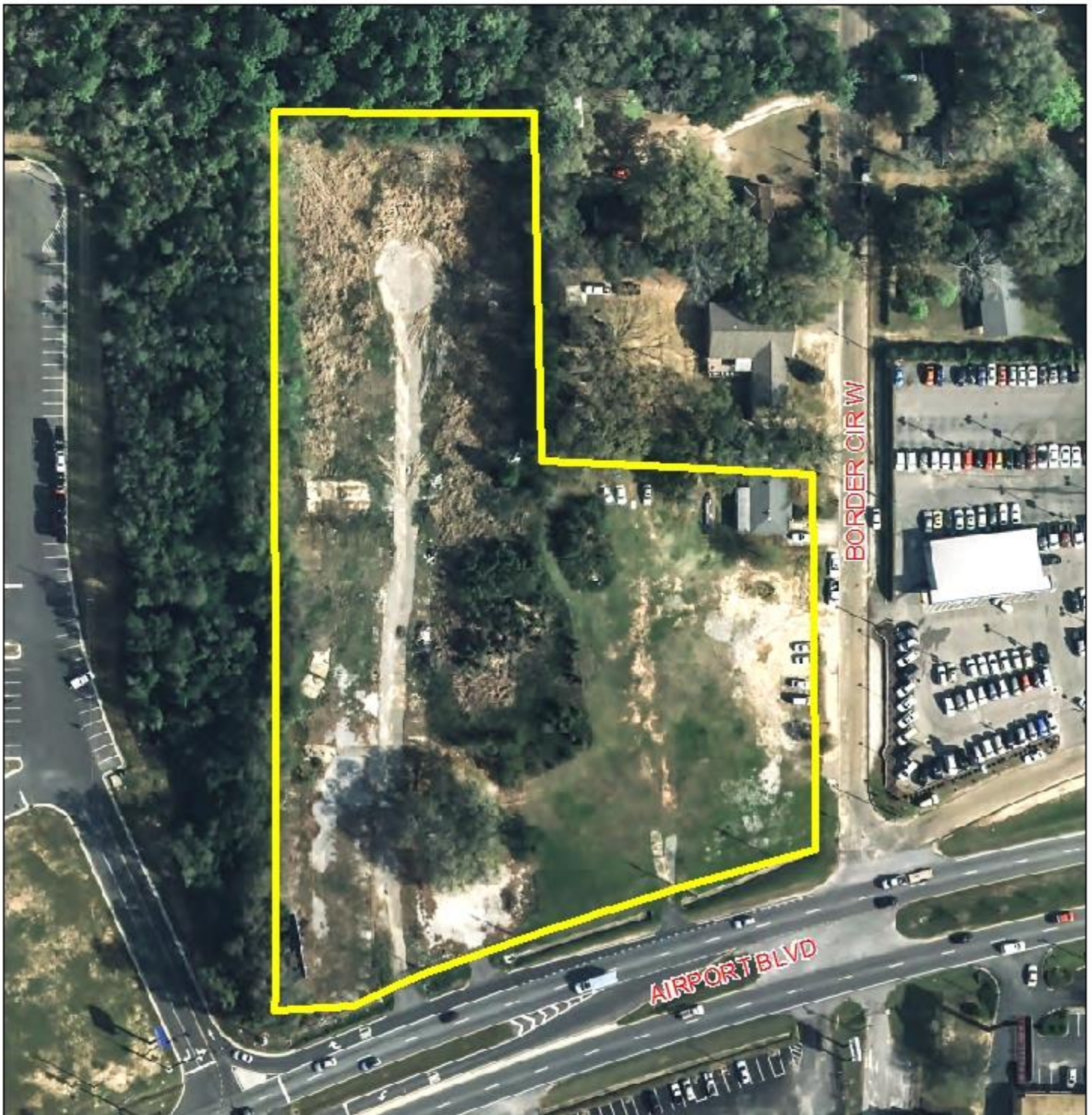
APPLICATION NUMBER 7 DATE February 5, 2015

	R-A		R-3		T-B		B-2		B-5		MUN		SD-WH		T5.1
	R-1		R-B		B-1		B-3		I-1		OPEN		T3		T5.2
	R-2		H-B		LB-2		B-4		I-2		SD		T4		T6





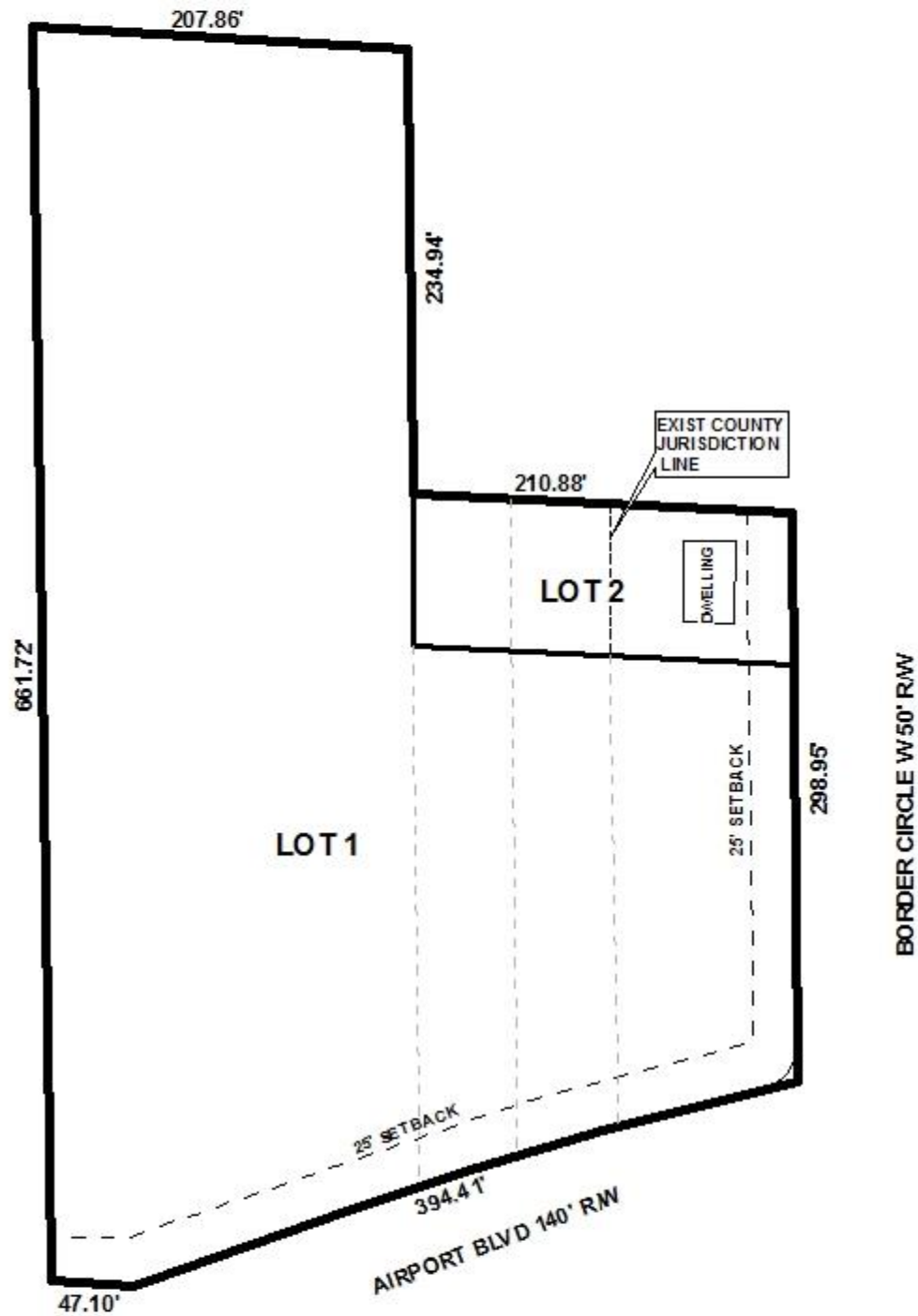
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APPLICATION NUMBER 7 DATE February 5, 2015



# DETAIL SITE PLAN



APPLICATION NUMBER 7 DATE February 5, 2015  
APPLICANT SKCO Subdivision, Resubdivision of  
REQUEST Subdivision

