

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: June 18, 2015****DEVELOPMENT NAME**

Ken Kleban

SUBDIVISION NAME

Shed Development Subdivision

LOCATION5753 Old Shell Road
(Southeast corner of Old Shell Road and Long Street).**CITY COUNCIL****DISTRICT**

District 6

AREA OF PROPERTY

2 Lots / 2.1 ± acres

CONTEMPLATED USE

Planned Unit Development Approval to allow shared access and parking between two separate lots, and Subdivision approval to create 2 lots.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate.

**ENGINEERING
COMMENTS****Subdivision:**

The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- C. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Planned Unit Development:

1. According to the FEMA flood map information, this property is located within a Special Flood Hazard Area. You will need to show and label the flood hazard area(s) on your PUD Site Plan. They do not appear to match the lines shown on the Subdivision Plat. Also, you will need to list the Minimum Finished Floor Elevation (MFFE) for each lot 1-6.

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City

- of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Prior to the issuance of any land disturbance permits for a proposed hotel, a traffic impact study will be required to be submitted and approved by Traffic Engineering. Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements (if any) identified in the study. The overall site is limited to two curb cuts to Old Shell Road, and five curb cuts to Long Street, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any driveway permits for Long Street are contingent upon improvements to the roadway as needed to meet city standards. Any driveway permits for Old Shell Road are contingent upon the closure of the mid-block median cut adjacent to the site. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code) Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)

REMARKS

The applicant is seeking Planned Unit Development Approval to allow shared access and parking between two separate lots, and Subdivision approval to create 2 lots. The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create two lots from one legal lot, and to allow cross access and parking for each lot and the businesses that will be located in the buildings on each lot. The applicant proposes to construct two multi-tenant buildings, one on each lot, for a total of six potential tenant spaces.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned B-2, Neighborhood-Business District, and the proposed restaurant and retail uses are allowed by right. Furthermore, this district allows up to 50% site coverage and a 25-foot front yard setback and zero-foot side and rear yard setbacks.

The site was most recently before the Commission at the April 2, 2015 meeting as part of a three lot subdivision application, and the plat has since been recorded. The request at hand will divide an existing lot into two lots. Due to the previous Subdivision applications, right-of-way dedication along both Old Shell Road and Long Street will not be required. The previous approval, however, limited the number of curb-cuts to both streets: two (2) to Old Shell Road and five (5) to Long Street, with the five curb-cuts being shared between three lots with frontage onto Long Street. The site plan provided as part of the Planned Unit Development application depicts one curb-cut to Old Shell Road and two curb-cuts to Long Street. The size, location and design of any curb-cut is subject to Traffic Engineering approval, and should comply with AASHTO standards.

Each lot, as proposed, will comply with size and area requirements of the Subdivision Regulations. Lot 1-A is proposed to be 56,100 square feet, and Lot 1-B 36,301 square feet. The preliminary plat shows both the lot size in square feet and the 25-foot minimum building setback: these should be retained on the final plat, if approved.

Regarding the PUD, the site plan depicts a four tenant, 8,670 square foot building on Lot 1-A, with two separate outdoor dining areas of 250 square feet each. A building of 3,467 square feet, with an outdoor dining area of 385 square feet is shown on Lot 1-B. Four restaurant uses are proposed, which will total 8,952 square feet (including patios), with the remaining 4,070 square feet of tenant space utilized for retail uses. A total of 104 parking spaces are required for the

proposed tenant mix, and 104 spaces are depicted on the site plan. No additional restaurants or outdoor dining areas can be provided due to the lack of excess parking.

As the site will have more than 25 parking spaces, full compliance with Sections 64-4.A.2., 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance will be required.

The site plan also depicts at least one drive-thru, and possibly two. If a drive-thru is planned for the tenant on the western-most portion of the building on Lot 1-A, the current site plan does not meet queuing or drive-thru spacing requirements. The drive-thru depicted for the eastern-most portion of the building on Lot 1-A appears compliant, including the order station.

Proposed trees are shown on the site plan, as are landscape area calculations. While tree calculations are not provided, it appears that the site will meet or exceed the number of overstory and understory trees required by the Zoning Ordinance.

Dumpsters are depicted on the site plan, and enclosures are indicated. Due to the fact that this is a new development, all dumpsters must be enclosed and drain to sanitary sewer, per the requirements of Section 64-4.D.9. of the Zoning Ordinance.

Finally, the PUD site plan does not depict the 25-foot minimum building setback line. The site plan should be revised to depict the setback line from both Old Shell Road and Long Street.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the final plat stating that Lot 1-B is limited to one curb-cut to Old Shell Road, that Lot 1-A is limited to two curb-cuts to Long Street, and that the size, design and location of all curb-cuts are subject to Traffic Engineering approval and are to comply with AASHTO standards;
- 2) Compliance with Engineering comments: *(1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Application and/or questions can be sent to rightofway.permits@cityofmobile.org. 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The proposed development must comply with all Engineering Department design requirements and Policy Letters. 5. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain*

requirements) will be required prior to the issuance of a Land Disturbance permit. Add The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. Add to perform any work in the ROW, a right of way permit is required.);

- 3) *Compliance with Traffic Engineering comments (Prior to the issuance of any land disturbance permits for a proposed hotel, a traffic impact study will be required to be submitted and approved by Traffic Engineering. Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements (if any) identified in the study. The overall site is limited to two curb cuts to Old Shell Road, and five curb cuts to Long Street, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any driveway permits for Long Street are contingent upon improvements to the roadway as needed to meet city standards. Any driveway permits for Old Shell Road are contingent upon the closure of the mid-block median cut adjacent to the site. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 4) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64));*
- 5) *Compliance with Fire comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code) Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC));*
- 6) *Provision of a revised PUD site plan prior to the signing of the final plat; and*
- 7) *Completion of the Subdivision process prior to requesting permits for new construction on Lot 1-B*

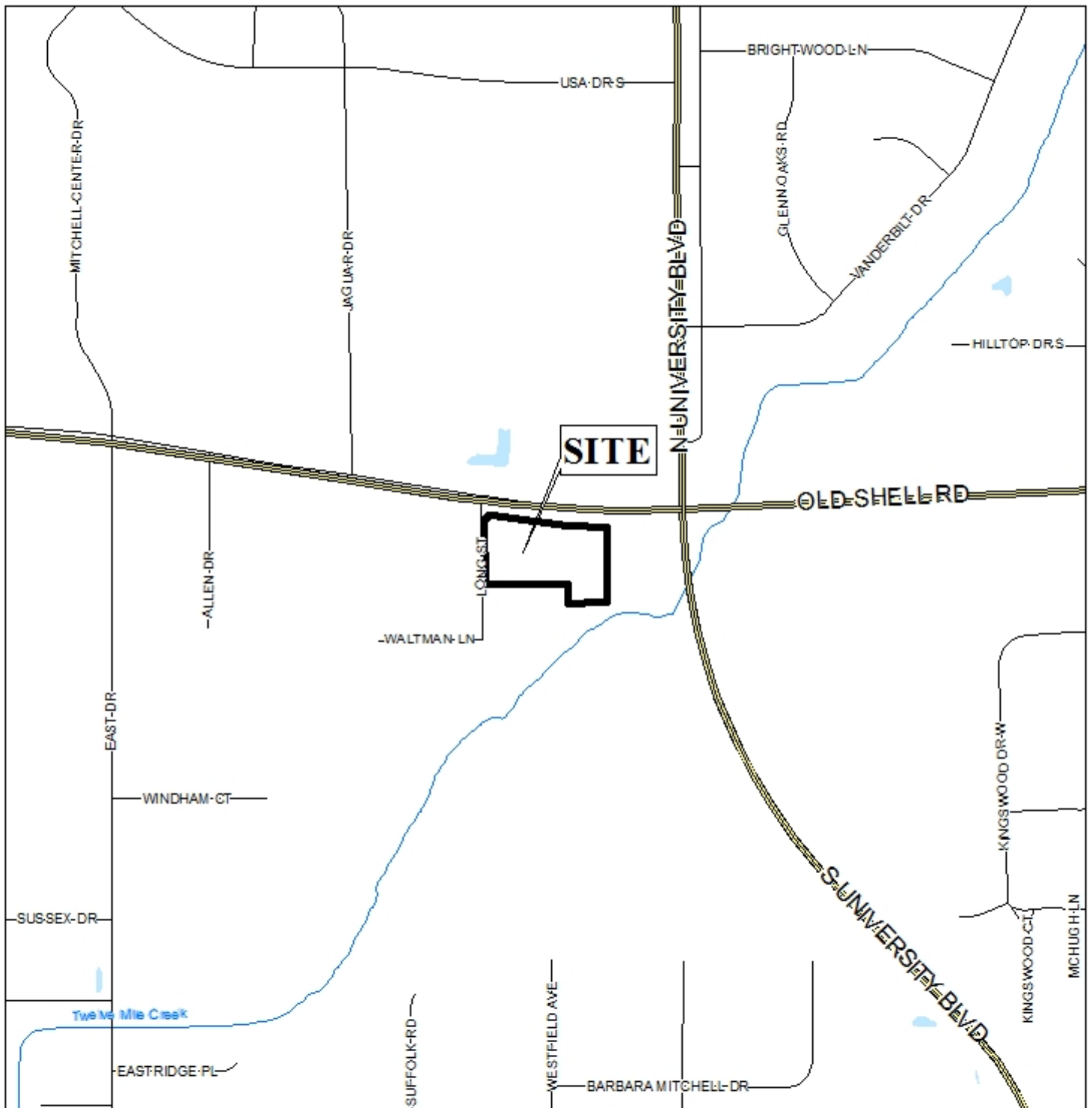
Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) *Revision of the site plan to depict and label the 25-foot minimum building setback line along the Old Shell Road and Long Street frontages;*
- 2) *Full compliance with Section 64-4.D.9. of the Zoning Ordinance regarding dumpsters;*
- 3) *Full compliance with Sections 64-4.A.2., 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance regarding site and parking area lighting;*
- 4) *Approval limited to one drive-thru as depicted on the site plan;*
- 5) *Approval limited to the maximum square footage of food and/or beverage establishments as proposed (8,952 square feet);*
- 6) *Approval limited to the outside dining areas depicted on the site plan;*
- 7) *Compliance with Engineering comments: (1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Application and/or questions can be sent to rightofway.permits@cityofmobile.org. 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review*

and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);

- 8) *Compliance with Traffic Engineering comments (Prior to the issuance of any land disturbance permits for a proposed hotel, a traffic impact study will be required to be submitted and approved by Traffic Engineering. Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements (if any) identified in the study. The overall site is limited to two curb cuts to Old Shell Road, and five curb cuts to Long Street, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any driveway permits for Long Street are contingent upon improvements to the roadway as needed to meet city standards. Any driveway permits for Old Shell Road are contingent upon the closure of the mid-block median cut adjacent to the site. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 9) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64));*
- 10) *Compliance with Fire comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code) Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC));*
- 11) *Provision of a revised PUD site plan prior to the signing of the final plat; and*
- 12) *Full compliance with all other municipal codes and ordinances.*

LOCATOR MAP



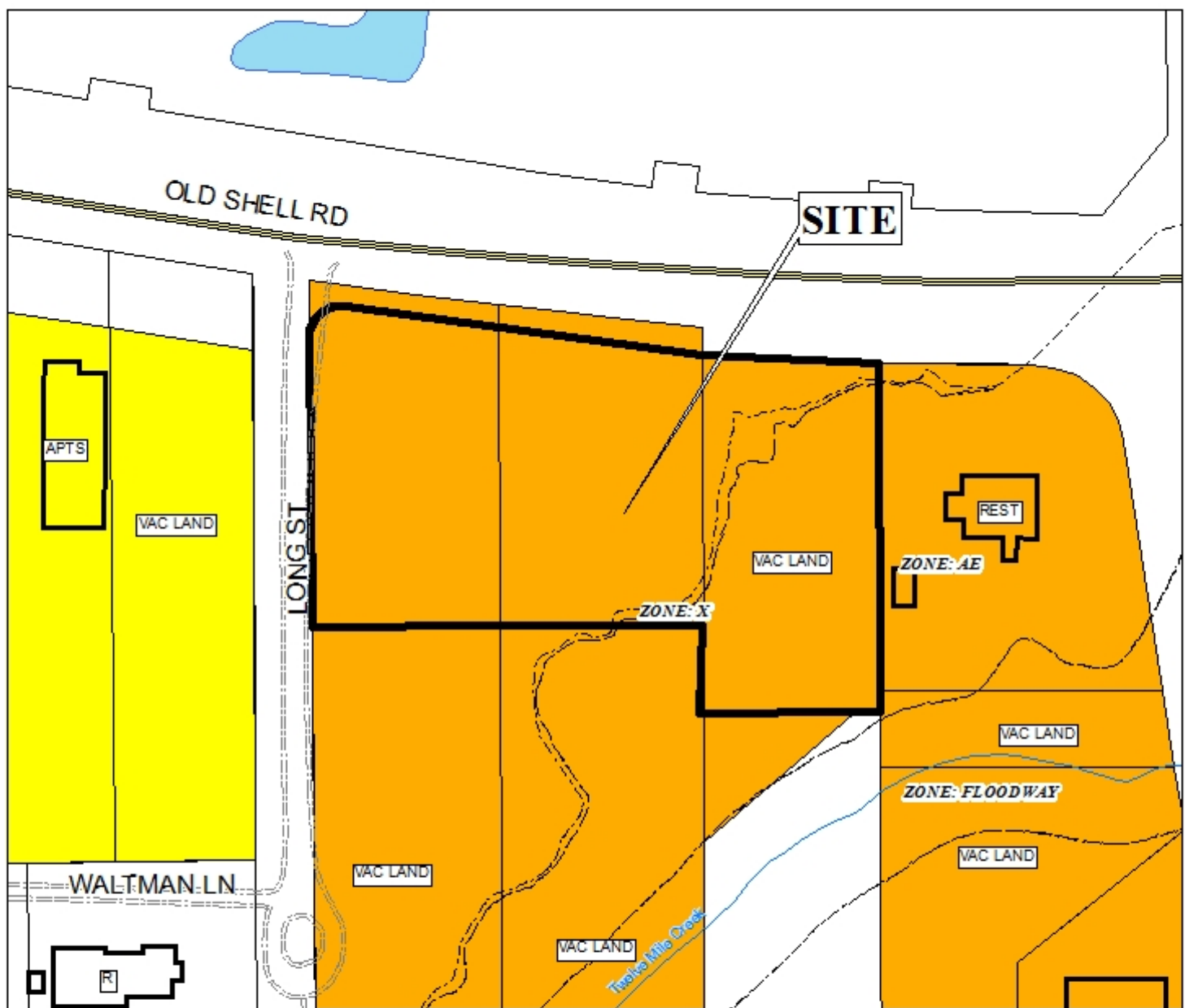
APPLICATION NUMBER 7 DATE June 18, 2015

APPLICANT Shed Development Subdivision

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

APPLICATION NUMBER 7 DATE June 18, 2015

APPLICANT Shed Development Subdivision

REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

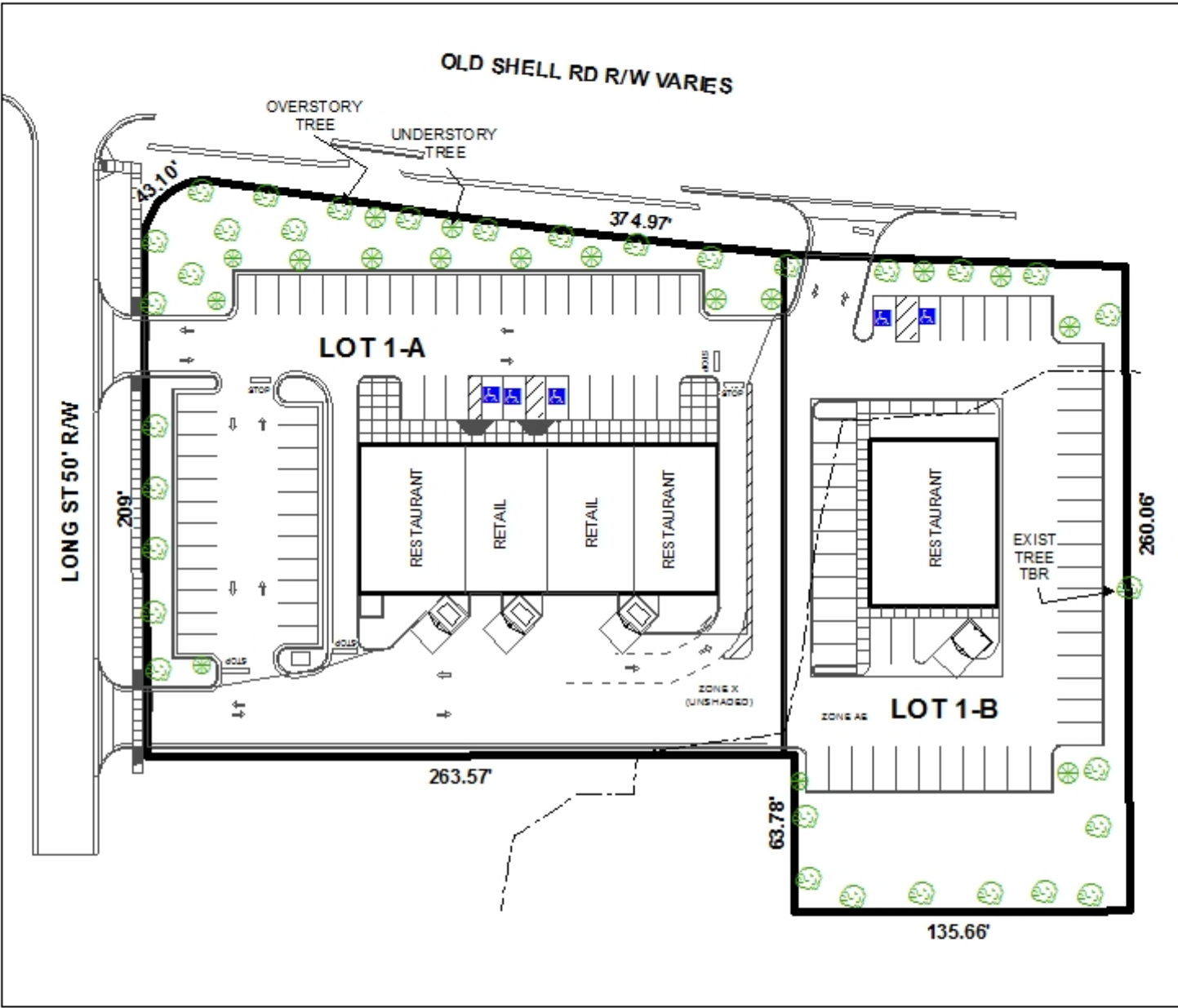
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APPLICANT Shed Development Subdivision

REQUEST Subdivision, Planned Unit Development



SITE PLAN



The site plan illustrates the proposed buildings, parking, trees, and proposed lots.

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APPLICANT Shed Development Subdivision

REQUEST Subdivision, Planned Unit Development

