

SHAUN TURNER ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code) Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 2-lot, 46.4± acre subdivision which is located at the South terminus of Heritage Circle West, extending to the West terminus of Mason Drive, within the Planning Jurisdiction. The applicant states the property is served by public water and sewer.

The site was reserved for future development as part of the third phase of a 31-lot, multi-phase subdivision that was approved at the April 21, 2011 meeting of the Planning Commission, and subsequently recorded in Mobile County Probate Court in May, 2012. The subject property remains undeveloped, and the purpose of this application is to create two legal lots of record from two metes-and-bounds parcels.

Proposed Lot A is accessed via the terminus of Mason Drive, a minor street with curb and gutter requiring a 50' right-of-way width. Proposed Lot B is accessed via the terminus of Heritage Circle West, which is also a minor street with curb and gutter requiring a 50' right-of-way width; and Darling Road, to the West, which is an unpaved, substandard surface minor street. The preliminary plat illustrates sufficient right-of-way widths for both paved streets.

It should be noted that the future development area depicted on the 2011 preliminary plat depicted Mason Drive extending west, eventually connecting to Darling Road, while Heritage Circle West was to continue to a street stub at the East property line. The recorded plat depicts a temporary turn-around at the terminus of Heritage Circle West, with the following note: "Temporary turn around [*sic*] easement will expire when street is extended and accepted for maintenance." This easement is located on proposed Lot B, but is not shown on the preliminary plat submitted with the application at hand. Due to the length of Heritage Circle West past the intersection with Mason Drive, approximately 450 feet, a permanent turn-around may be require in order to comply with 2012 International Fire Code requirements.

With regards to access management, since neither lot has access to additional street frontage, a note should be required on the Final Plat stating that each lot is limited to one curb cut, with their sizes, locations, and designs to be approved by Mobile County Engineering and conform to AASHTO standards. Additionally, access to Darling Road should be denied until it is improved and paved to Mobile County Engineering standards. No additional subdivision approval should be granted until additional frontage is provided.

It should be noted that a 200' Alabama Power Company easement is located through the southeast corner of proposed Lot B; and, as such, a note should be placed on the Final Plat, if approved, stating no structures will be erected in any easements.

It should be noted that the lots are irregular in shape, but nevertheless exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations, which are depicted only in acres. If approved, the sizes of each lot should be illustrated in square feet and acres on the Final Plat, or a table furnishing the same information should be provided on the Final Plat, if approved.

The 25-foot minimum building setback line is illustrated on the preliminary plat where each lot is at least 60' wide, with the exception of Darling Road. If approved, this information should be provided for all frontages on the Final Plat, adjusted for the required permanent turn-around.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

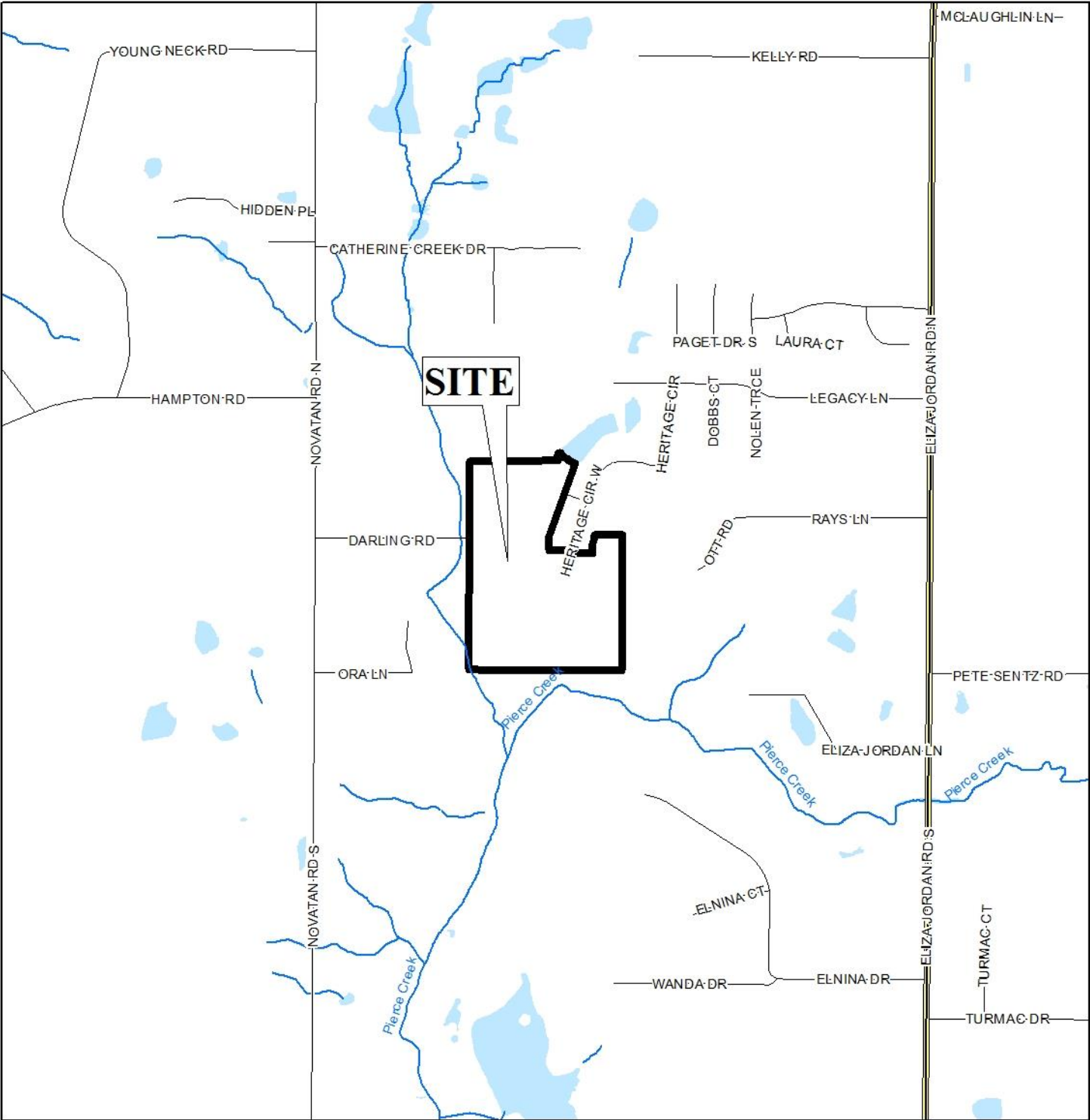
The site will have to comply with the Mobile County Flood Damage Prevention Ordinance. A note stating *"Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits."* should be placed on the Final Plat.

Based on the preceding the plat is recommended for Tentative Approval subject to the following conditions:

- 1) provision of a permanent turn-around at the terminus of Heritage Circle West, with the size, location and design to comply with 2012 International Fire Code requirements;
- 2) placement of a note on the Final Plat stating that each lot is limited to one curb cut, with their sizes, locations, and designs to be approved by Mobile County Engineering and conform to AASHTO standards;
- 3) placement of a note on the Final Plat stating Lot B is denied access to Darling Road until it is improved and paved to Mobile County Engineering standards;
- 4) placement of a note on the Final Plat stating that no structures will be erected in any easements;

- 5) revision of the Final Plat to depict the size of each lot in square feet and acres;
- 6) retention of the 25' minimum building setback line for each lot on the Final Plat, adjusted for the permanent turn-around for Lot B;
- 7) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 8) compliance with Engineering comments: *(The site will have to comply with the Mobile County Flood Damage Prevention Ordinance. A note stating "Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits." should be placed on the Final Plat.); and*
- 9) compliance with Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).).*

LOCATOR MAP



APPLICATION NUMBER 7 DATE November 3, 2016

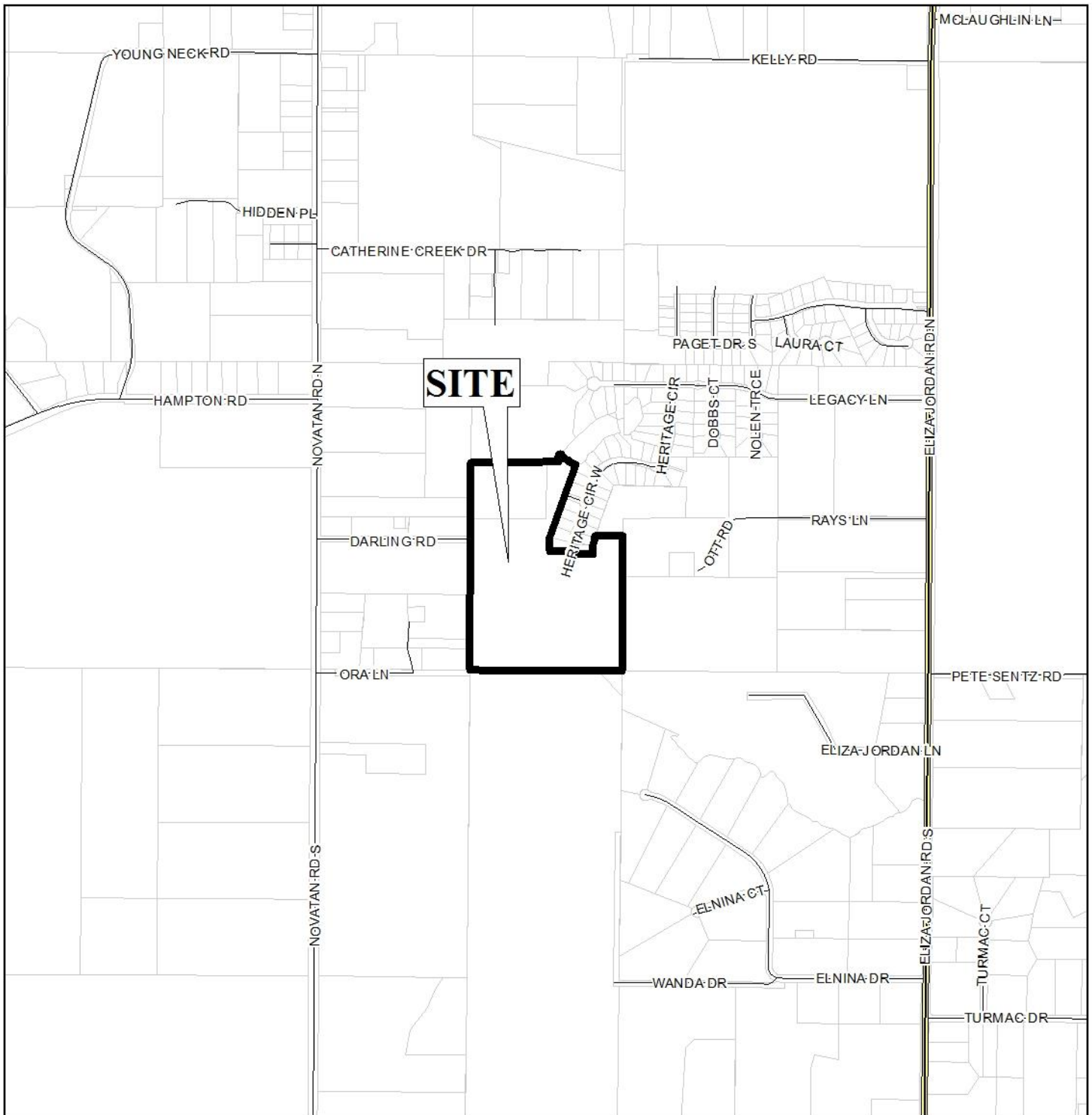
APPLICANT Shaun Turner Estates Subdivision

REQUEST _____ Subdivision _____



NTS

LOCATOR ZONING MAP



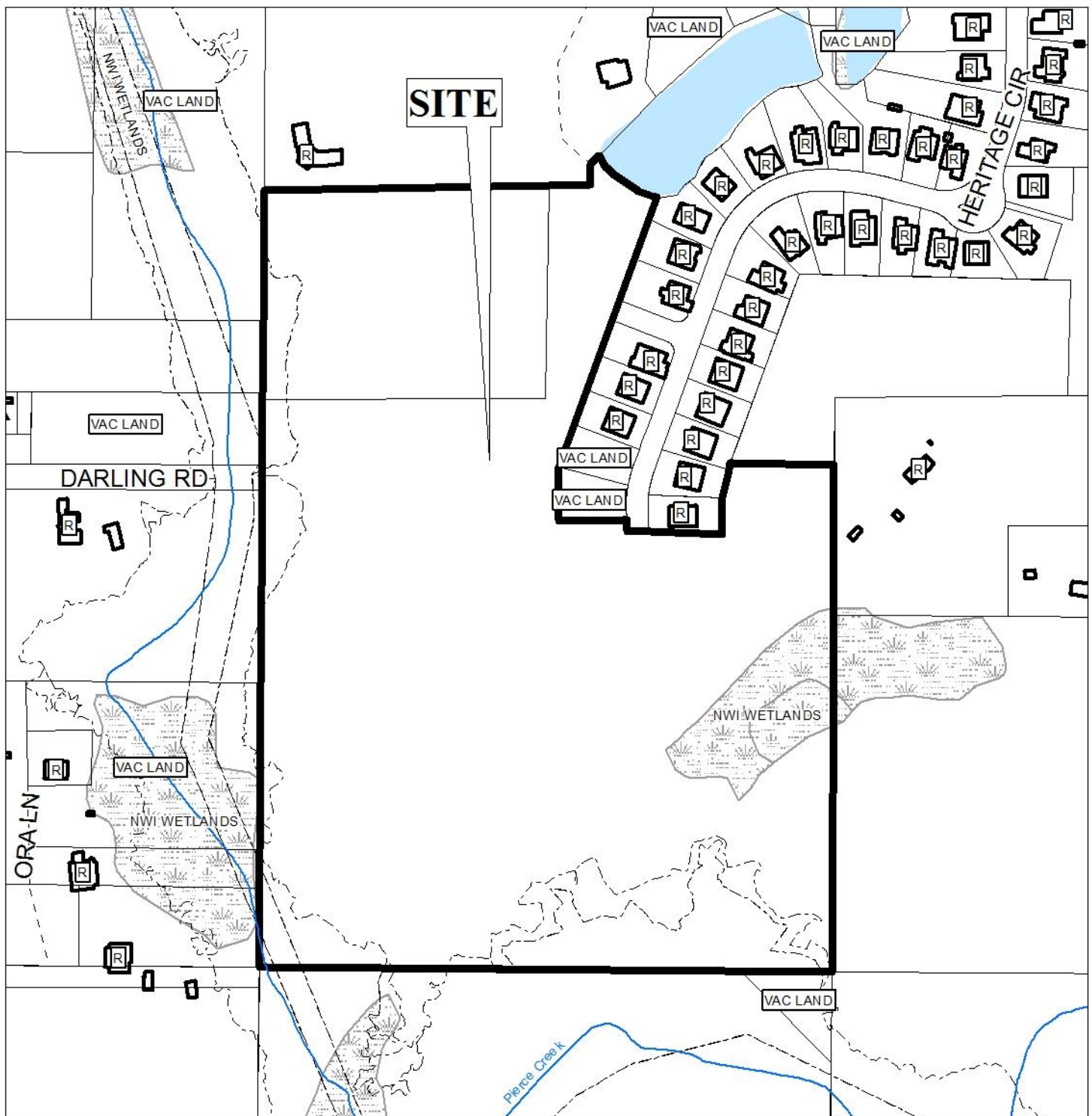
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APPLICANT Shaun Turner Estates Subdivision

REQUEST Subdivision



SHAUN TURNER ESTATES SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



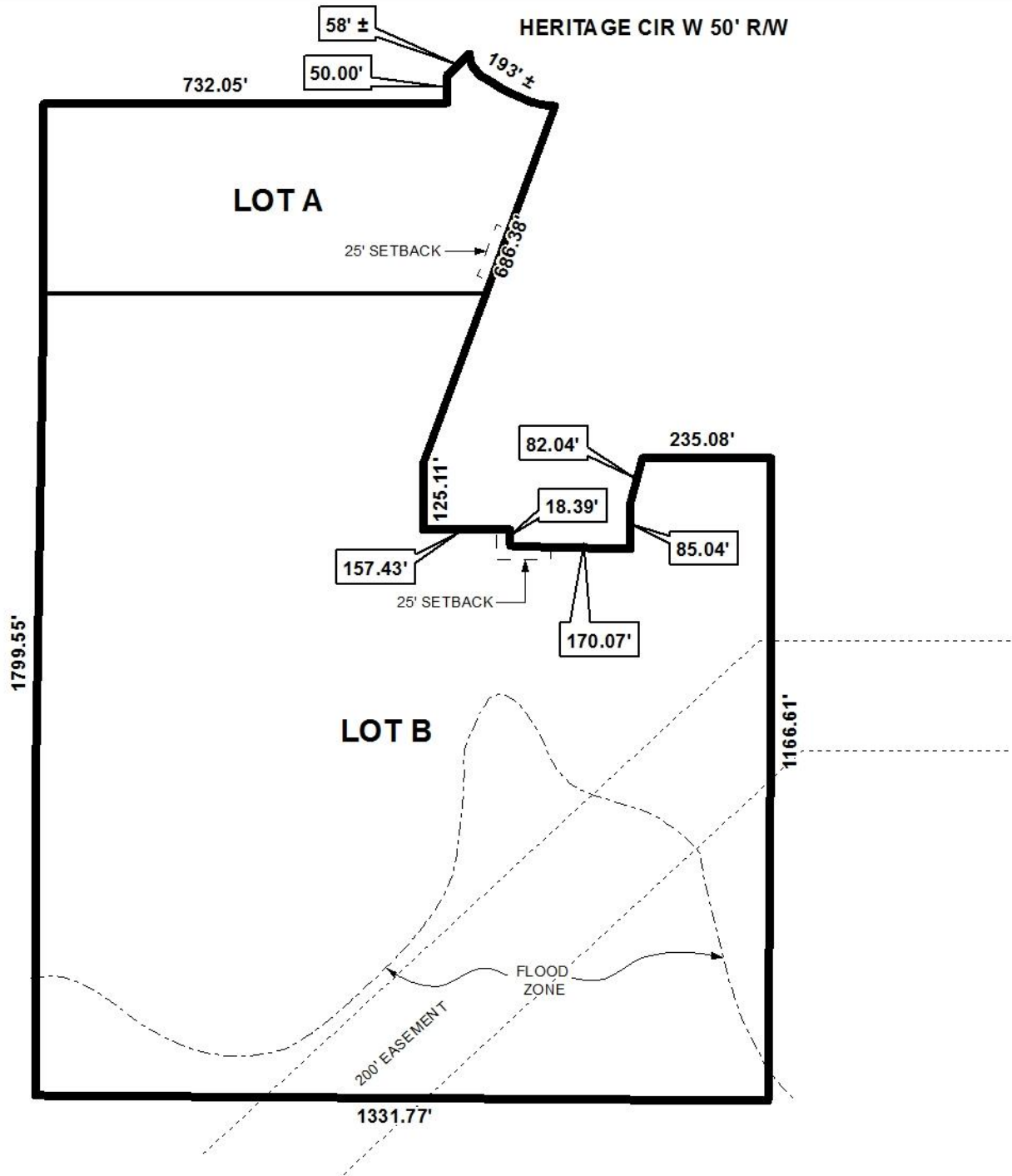
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DETAIL SITE PLAN



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REQUEST Subdivision

