

**RANGELINE CROSSING SUBDIVISION,**  
**RESUBDIVISION OF LOT A OF THE RESUBDIVISION**  
**OF LOT 2**

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Review and revise the written legal description to match the drawing.
- C. Show and label the existing LOT A.
- D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- G. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat with all of the required signatures including Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

Traffic Engineering Comments: The site will be subject to a Traffic Impact Study, as determined by the City Traffic Engineering Director, at the time development density is presented to the City. Rangeline Road Service Road is an ALDOT maintained roadway. Each lot is limited to two curb cuts per street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)

Map for Mobile Development Area(s) and Intent: Suburban Neighborhood

- Emphasize connectivity to surrounding neighborhoods and close services and retail
- Accommodation of pedestrian and bicycle traffic in addition to automobiles
- Appropriate scaled infill development to complement existing character of neighborhoods

The plat illustrates the proposed 82.7 acre  $\pm$ , 2 lot subdivision which is located on Northwest corner of Rangeline Road Service Road and Demetropolis Road, extending to the East side of Halls Mill Road, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to resubdivide a lot into two lots. The existing lot was part of a two lot Subdivision and Planned Unit Development request approved by the Planning Commission at its October 20, 2016 meeting. The plat has been recorded, but it appears that the final copies have not been provided to the Planning and Zoning Department.

It should be noted that as part of the October 20, 2016 approval of the associated Planned Unit Development, a condition of that approval was that *"improvements to Lot A will require new Planned Unit Development approvals."*

The site has frontage onto three streets: Demetropolis Road on the East, Rangeline Road service road on the South, and Halls Mill Road to the West. Previous subdivisions have addressed any right-of-way width issues, thus dedication will not be required.

Access management is a concern due to the site's location between three streets, one of which is a major street, and the proximity to an interchange for Interstate 10. Each proposed lot should be limited to a maximum of two curb-cuts to each abutting street frontage, with the size, design and location of all curb-cuts to be approved by Traffic Engineering, and ALDOT where appropriate, and conform with AASHTO standards.

The minimum building setback line, required in Section V.D.9., is shown for the subdivision. In several instances, there are drainage or utility easements with supersede the standard 25 foot minimum setback requirement, and this is depicted on the preliminary plat.

Numerous drainage, utility and access easements are depicted on the preliminary plat. These easements should be retained on the final plat. A note should also be placed on the final plat stating that no structures that are not associated with the underlying easement may be placed in the easement.

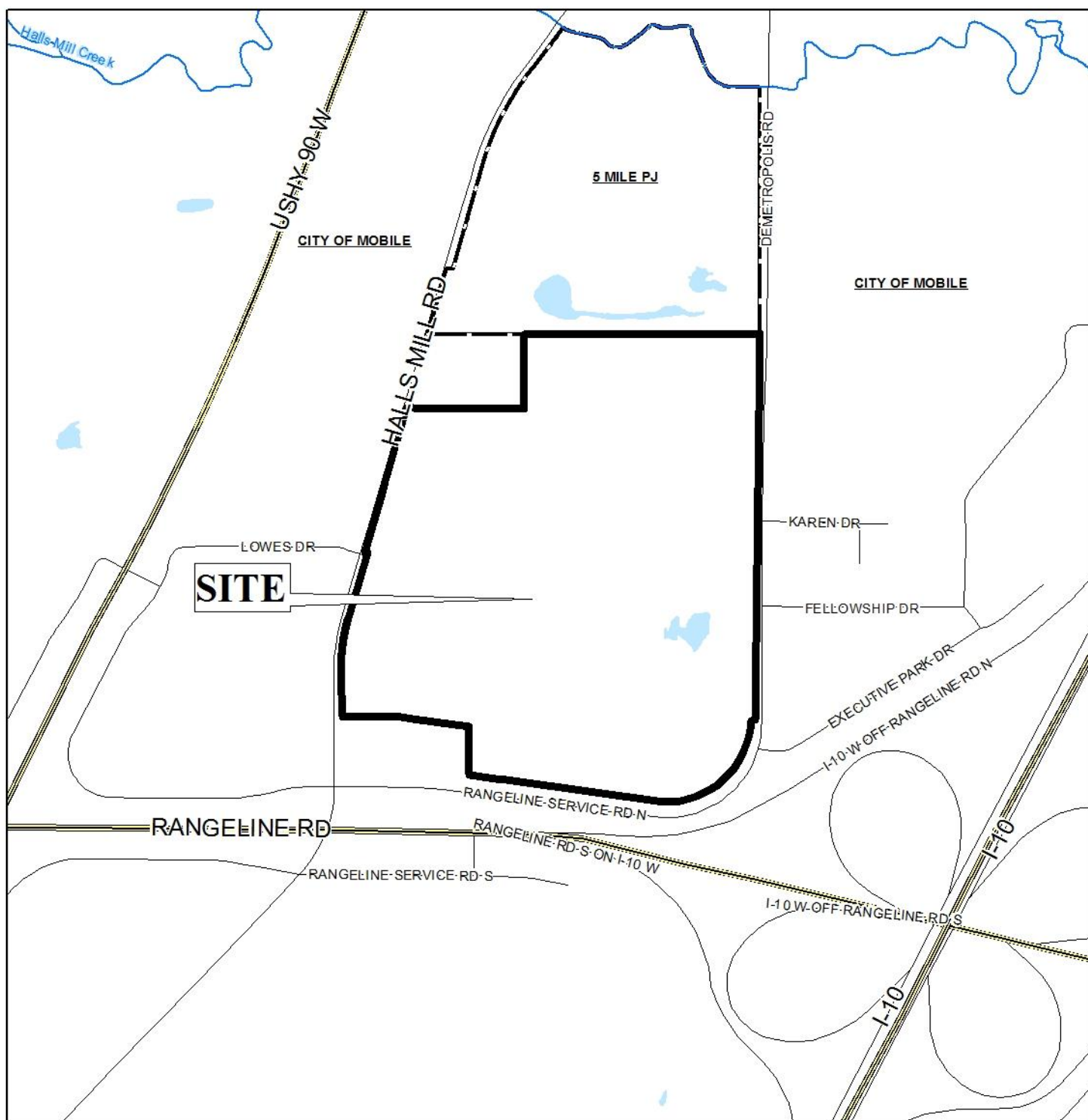
Finally, as no use is proposed with the application, staff cannot analyze the applicability of the Map for Mobile development intentions for this site.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Provision of seven (7) copies of the recorded plat for Rangeline Crossing, Resubdivision of Lot 2, prior to the signing of the plat for this request;
- 2) Placement of a note on the final plat stating that development of all lots is limited to an approved Planned Unit Development;
- 3) Placement of a note on the final plat stating that each lot is limited to a total of two (2) curb-cuts per street frontage, with the size, design and location of all curb-cuts to be

- approved by Traffic Engineering, and ALDOT where appropriate, and conform to AASHTO standards;
- 4) Retention and labeling of at least a 25-foot minimum building setback line from all street frontages, as required by Section V.D.9. of the Subdivision Regulations;
  - 5) Retention of the lot size in square feet and acres;
  - 6) Retention and labeling of all easements on the final plat, and placement of a note on the final plat stating that no structures that are not associated with the underlying easement may be placed in the easement;
  - 7) Compliance with Engineering comments (*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Review and revise the written legal description to match the drawing. C. Show and label the existing LOT A. D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. F. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. G. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat with all of the required signatures including Owner's (notarized), Planning Commission, and Traffic Engineering signatures.*);
  - 8) Compliance with Traffic Engineering comments (*The site will be subject to a Traffic Impact Study, as determined by the City Traffic Engineering Director, at the time development density is presented to the City. Rangeline Road Service Road is an ALDOT maintained roadway. Each lot is limited to two curb cuts per street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
  - 9) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).*);
  - 10) Compliance with Fire comments (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)*); and
  - 11) Completion of the Subdivision process prior to any request for land disturbance or building permits.

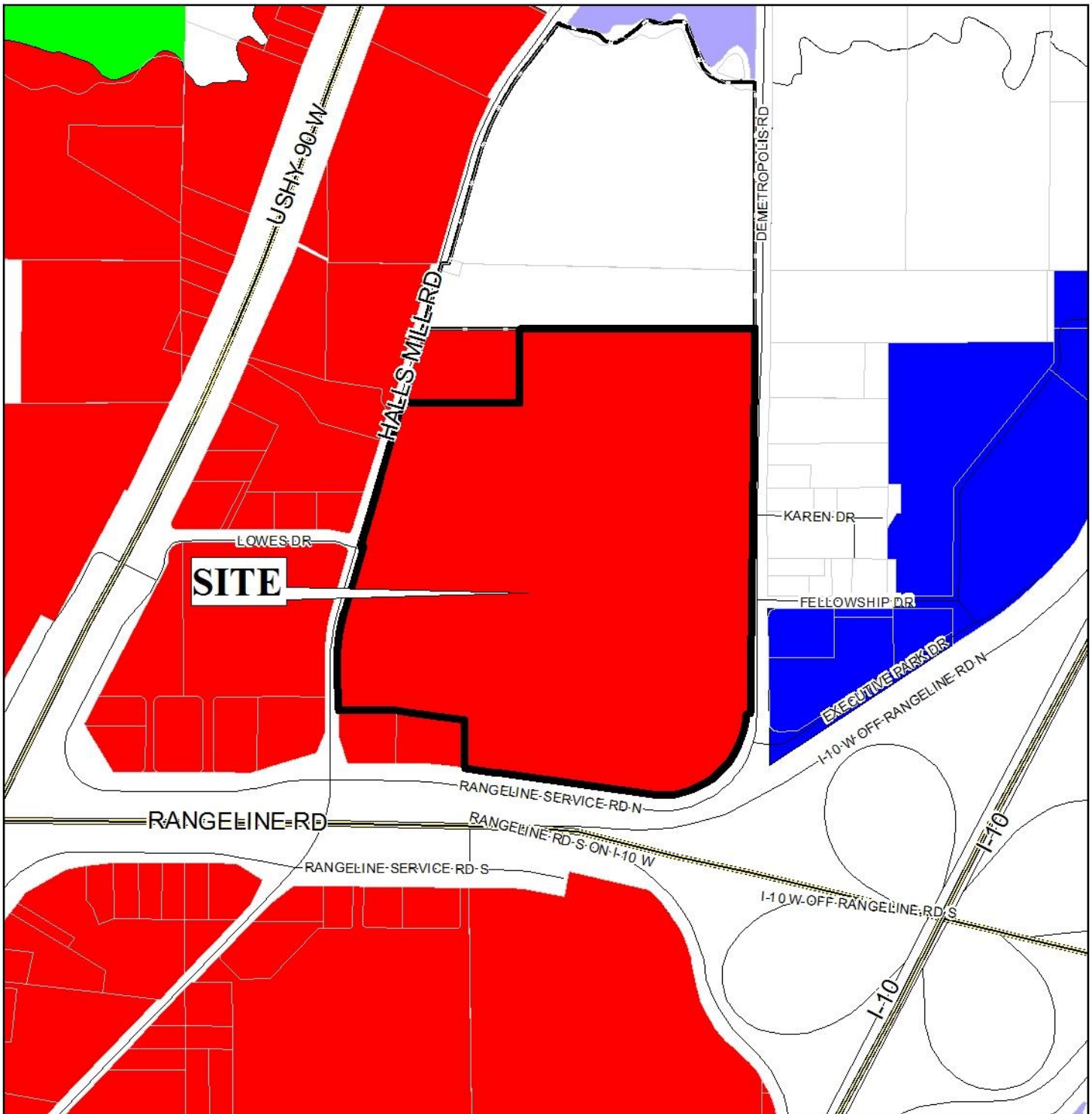
# LOCATOR MAP



APPLICATION NUMBER 7 DATE January 5, 2017  
 APPLICANT Rangeline Crossing Subdivision, Resubdivision of Lot A of the Resubdivision of Lot 2  
 REQUEST Subdivision



# LOCATOR ZONING MAP

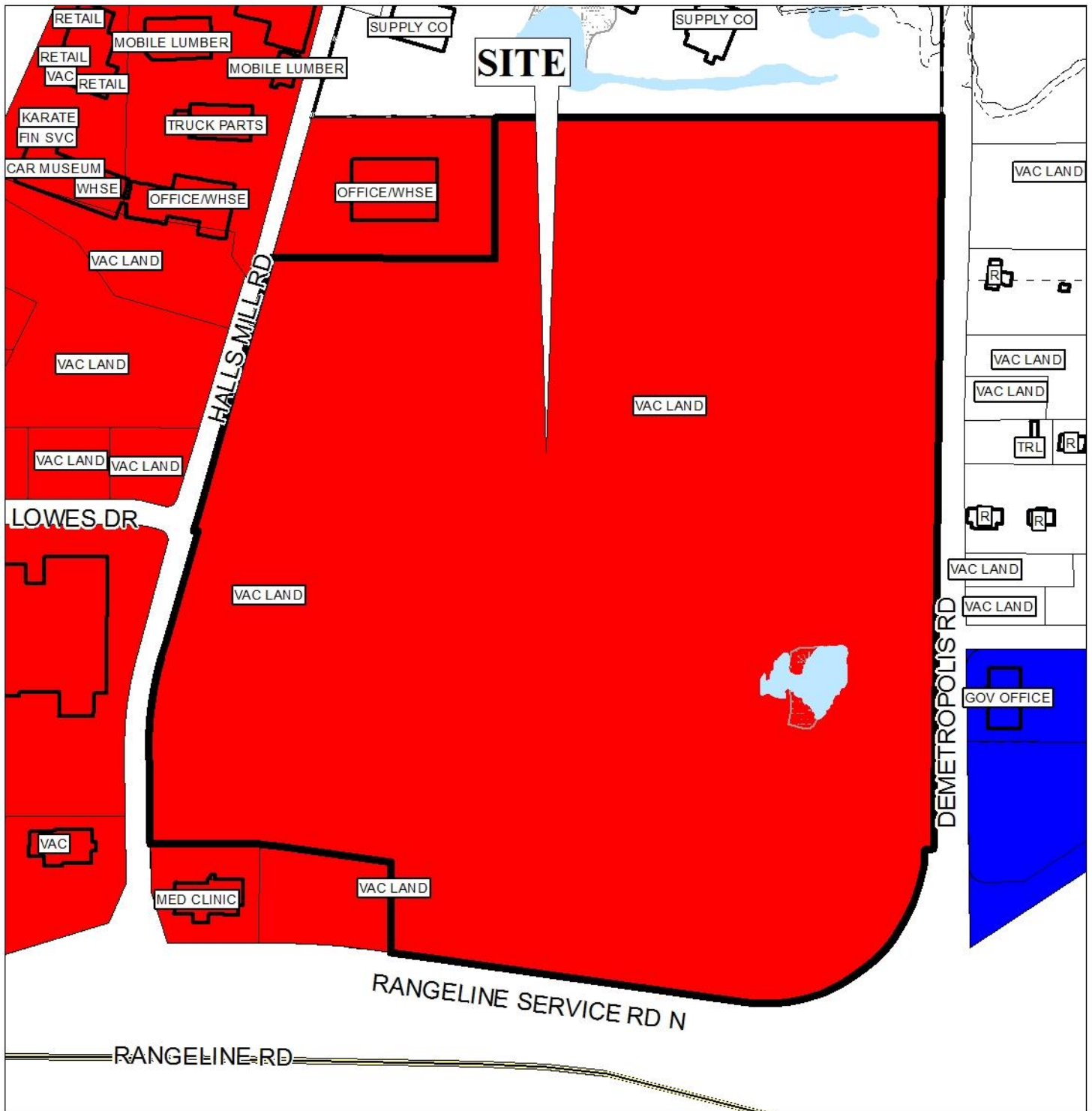


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





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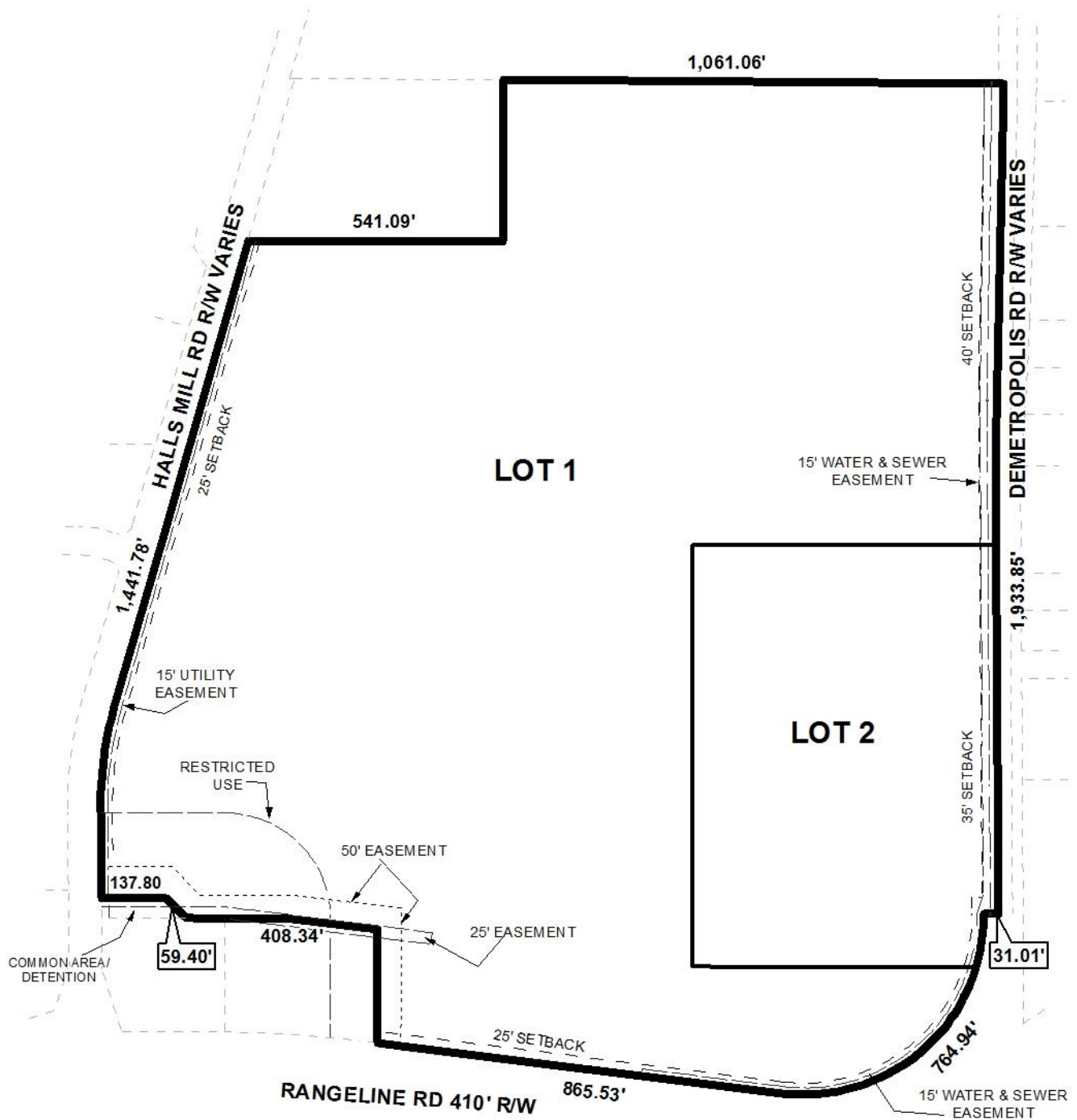


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# DETAIL SITE PLAN



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