

**SIDEWALK WAIVER
REQUEST STAFF REPORT****Date: April 19, 2007****NAME**

Craig Raines and Adam Dawe

LOCATION3148 Lees Lane
(West side of Lees Lane, 465'+ South of Gordon John Drive)**PRESENT ZONING**

I-1, Light Industry

ENGINEERING**COMMENTS**

Based on information provided by applicant, drainage ditch is in conflict with the required location of City standard sidewalk. Based on this information, the sidewalk waiver is approved. Even if the City standard configuration could be modified, pedestrian traffic should not be encouraged adjacent to a drainage ditch.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting a waiver of the sidewalk construction requirements along Lees Lane. The applicant states that the construction of the sidewalk to City Standards would be impossible due to the existing drainage ditch along Lees Lane.

Comments from City Engineering indicate that the sidewalk waiver be approved along Lees Lane.

RECOMMENDATION

Based on the preceding, it is recommended that this sidewalk waiver request be approved.

LOCATOR MAP



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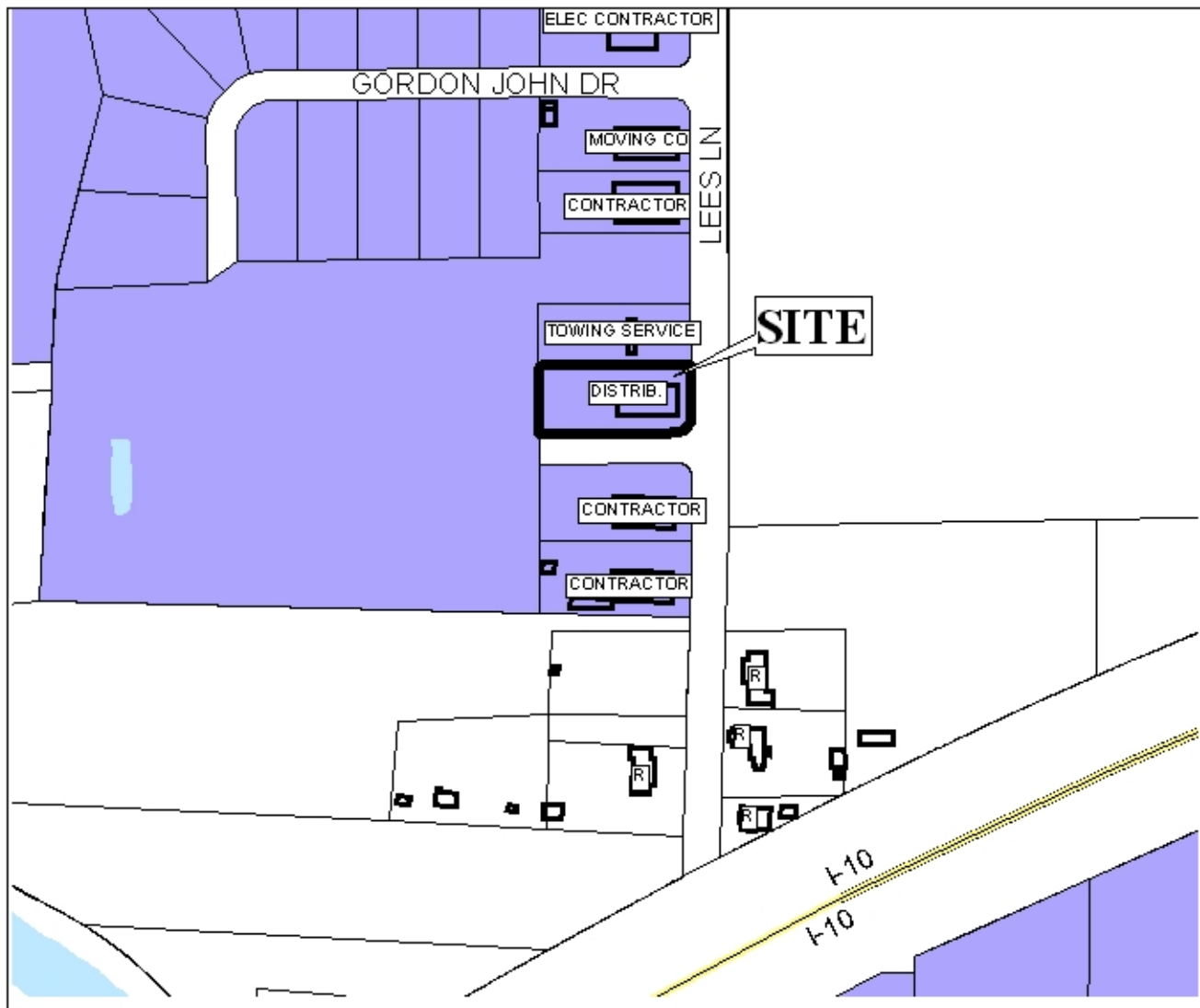
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Commercial and industrial sites are located to the north and
single family residential units are located to the south.

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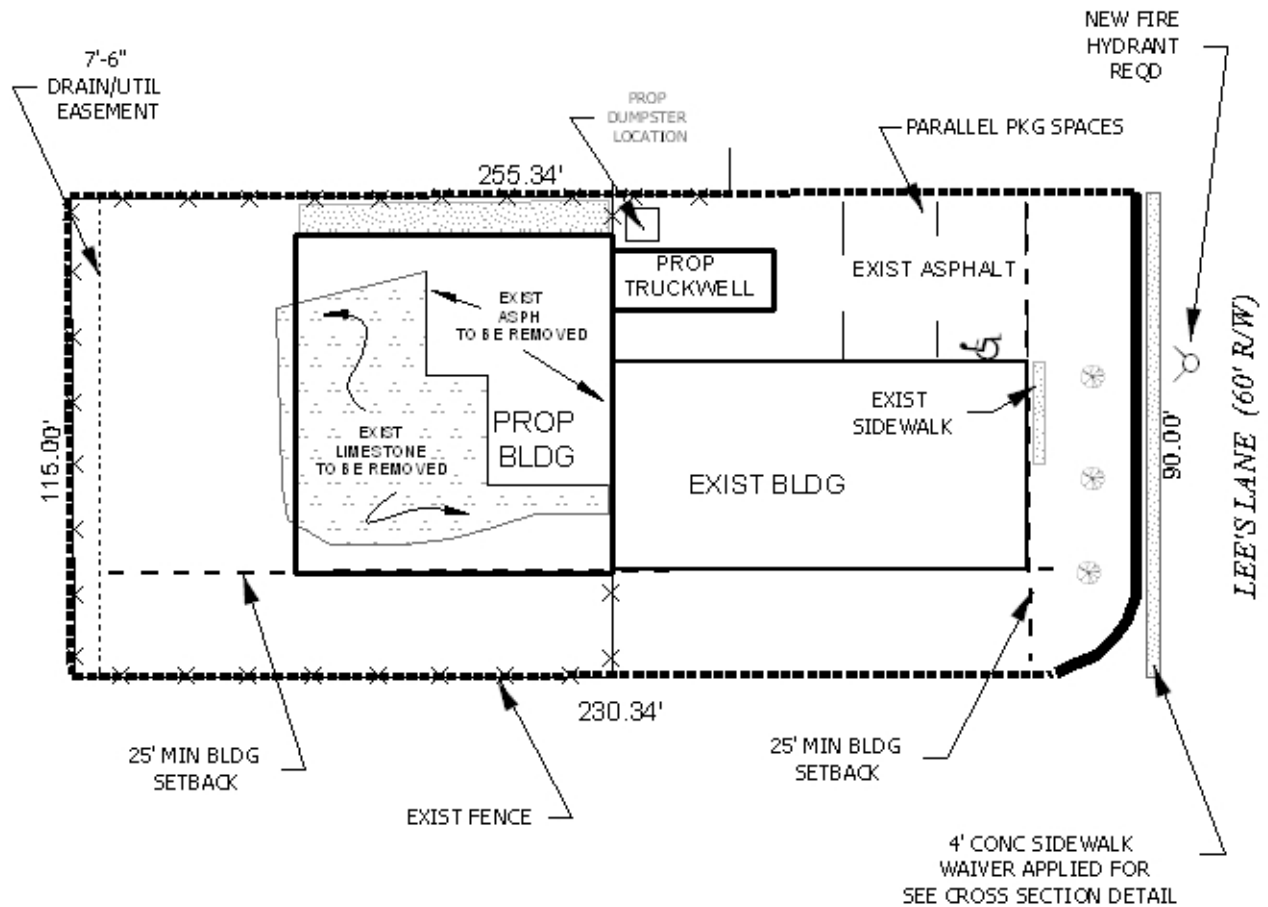
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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SITE PLAN



The site plan illustrates building setbacks, drainage and utility easement, parking, existing buildings and proposed buildings.

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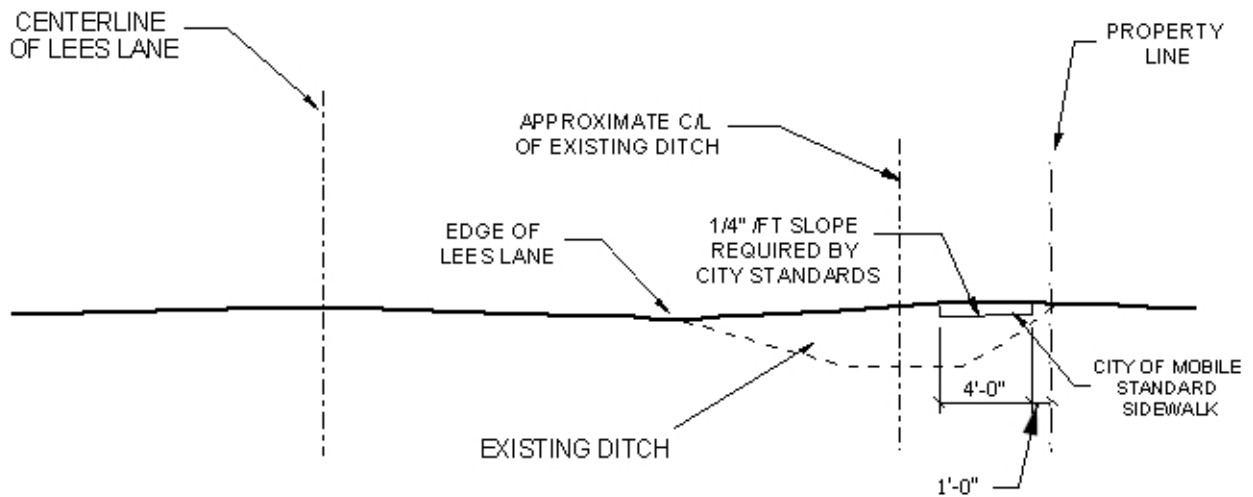
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SIDEWALK CROSS SECTION DETAIL



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