

OVERLOOK STATION SUBDIVISION

Engineering Comments: All storm water must tie to the City of Mobile storm drainage system. A hold harmless agreement or drainage easement is required to discharge onto an adjacent property. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: No comments.

The plat illustrates the proposed 17.6 ± acre, 61-lot subdivision which is located on the Southeast corner of Overlook Road and Howells Ferry Road extending West to Cody Road, and South to Victor Road, and is in Council District 7. The applicant states that the site is served by public water and sanitary sewer.

The purpose of the application is to create 61 residential lots from one parcel and a portion of a parcel. The remainder of the second parcel will remain in use by an adjacent church. The application should be revised to include the full extent of the second parcel and, in fact, should include a third parcel so that the church site can be consolidated onto a single lot.

It should also be pointed out that the site is split-zoned, with part of it zoned R-1, Single-Family Residential, and part of it zoned B-2, Neighborhood Business. The split-zoning condition must be corrected prior to the recording of the final plat, thus an application for rezoning will be required.

The site fronts Cody Road, Overlook Road and Victor Road. Cody Road is a proposed major street with an 80-foot right-of-way, which is less than the 100-foot right-of-way recommended in the Major Street Plan component of the Comprehensive Plan. Overlook and Victor Roads are minor streets, however, sufficient right-of-way should be dedicated along Victor Road to ensure at least 30 feet, as measured from the centerline due to the lack of curb-and-gutter: the right-of-way for Overlook Road is adequate. Access to Victor Road from individual lots or the overall subdivision should be denied.

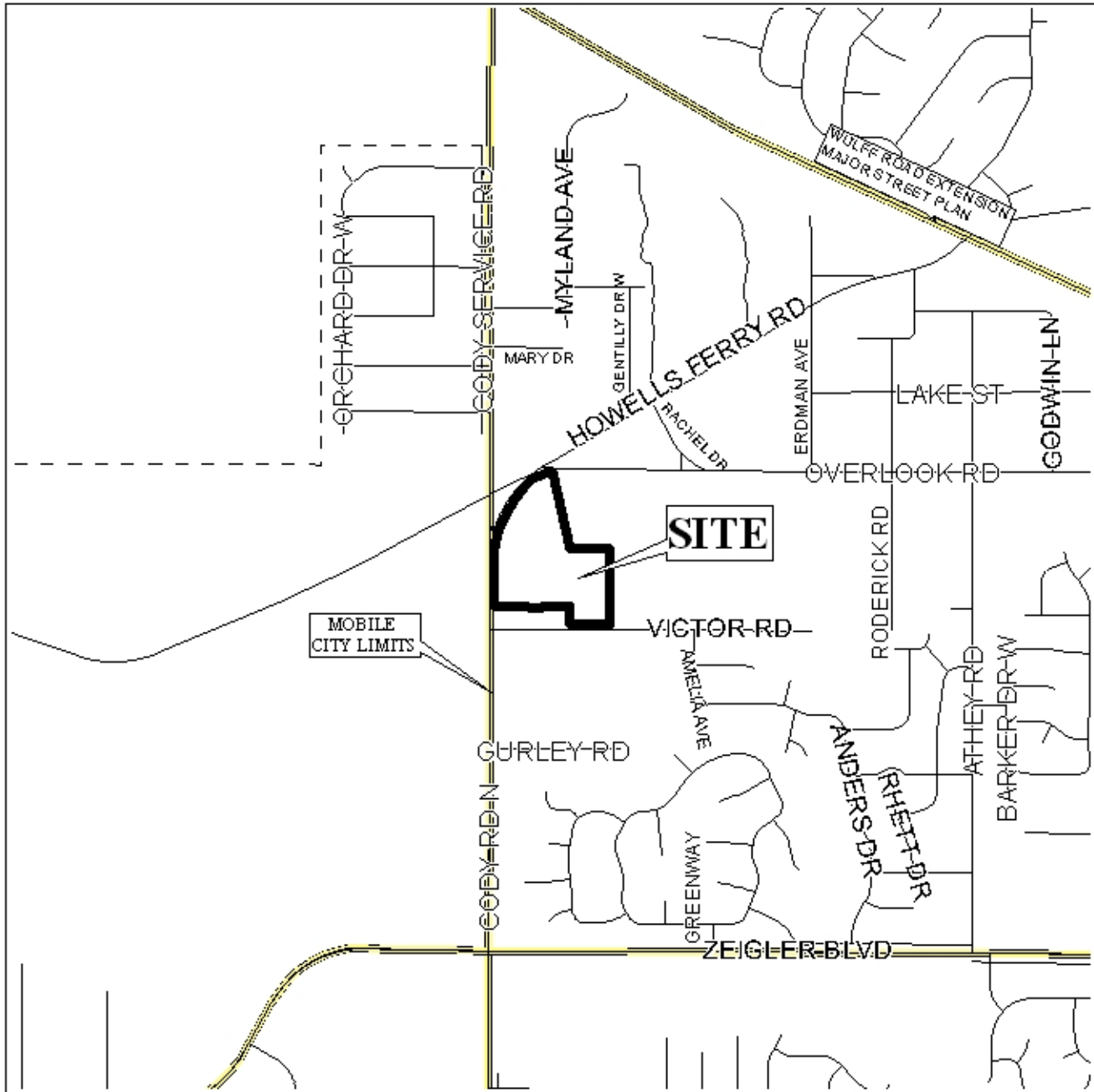
The site involves the creation of new streets. Because the site adjoins an approved subdivision to the East, a street-stub should be provided to connect with the approved Overlook Place subdivision.

The minimum building setback line is not depicted on the plat. The plat should be revised to depict the minimum building setback line from all street frontages.

No easement or access is depicted to the proposed detention area. The plat should be revised to show at minimum a drainage easement to the detention area.

Based on the preceding, this application is recommended for Holdover until the April 19th meeting, with revisions due by March 26th, to allow the applicant to undertake the following: 1) revision of the application (to include labels, postage and lot fees) and plat to include the entirety of the parcel and an additional parcel (so that a lot can be created for the church); 2) revision of the plat as needed to reflect necessary right-of-way dedications along Cody Road (50-feet from centerline) and Victor Road (30-feet from centerline); 3) revision of the plat as necessary to provide a street stub to the approved Overlook Place subdivision to the East; 4) revision of the plat to depict the required minimum building setback line from all street frontages; and 5) revision of the plat to show a drainage easement or direct access to the detention area.

LOCATOR MAP



APPLICATION NUMBER 7 DATE March 15, 2007

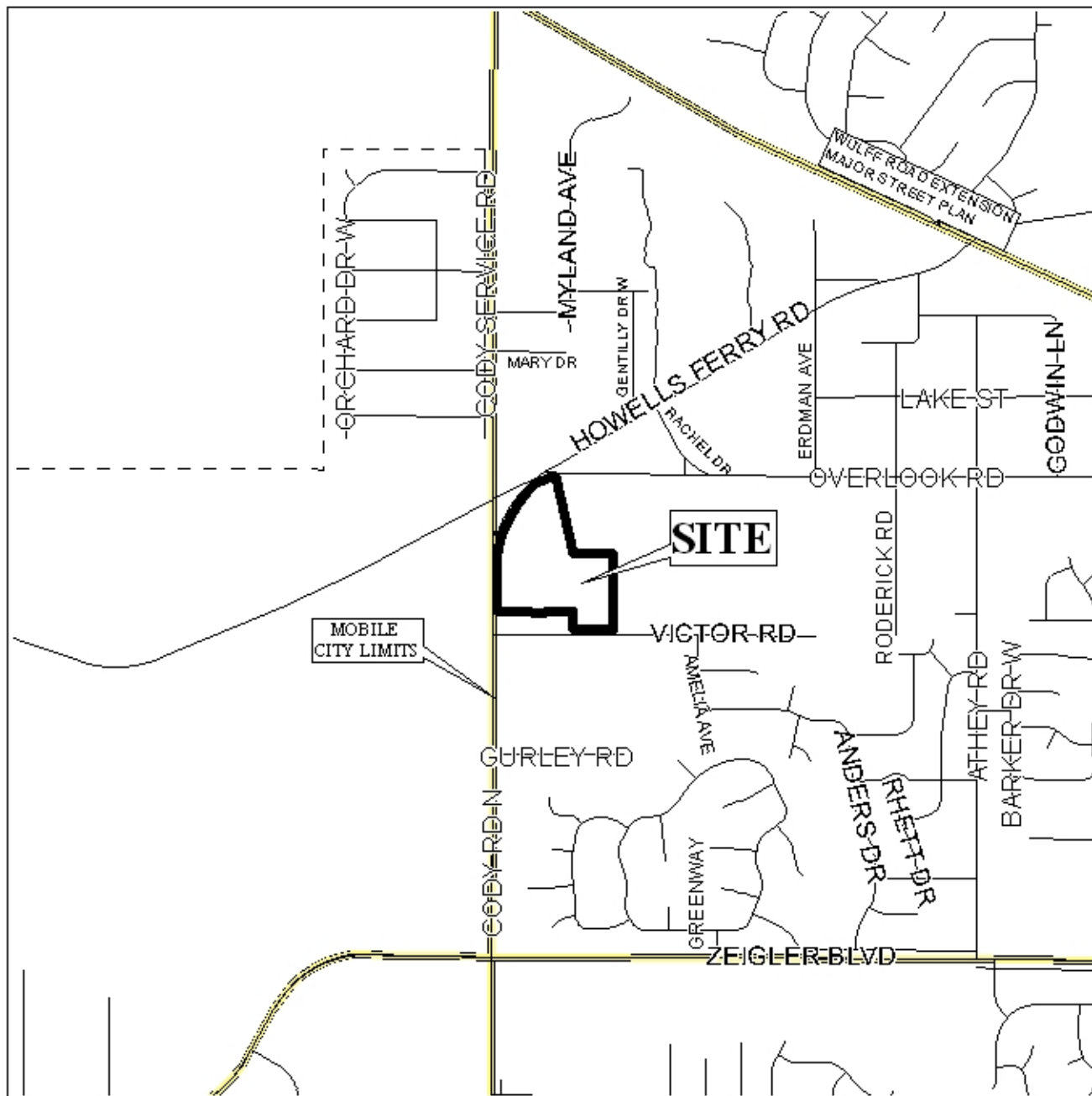
APPLICANT Overlook Station Subdivision

REQUEST Subdivision



NTS

LOCATOR MAP



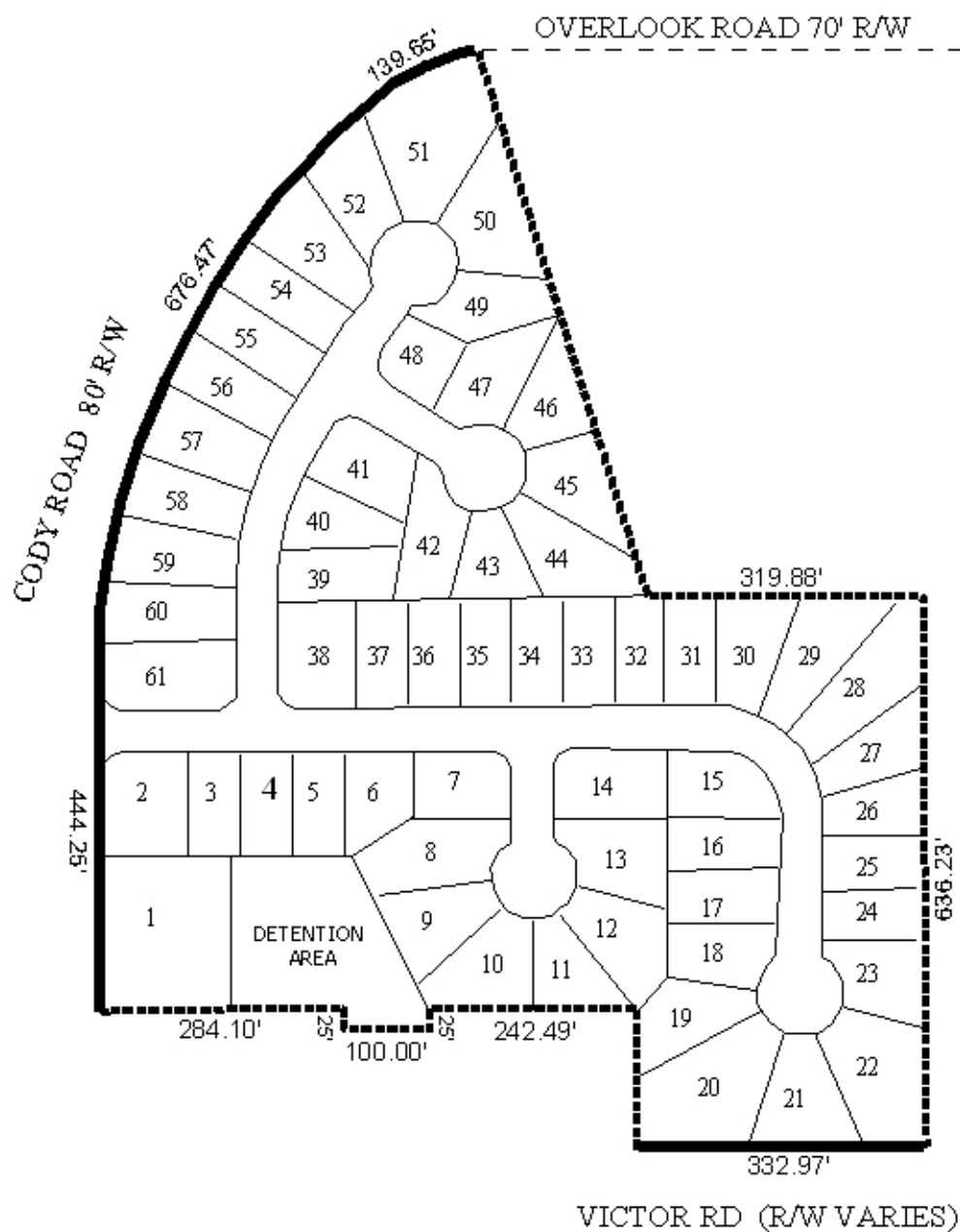
APPLICATION NUMBER 7 DATE March 15, 2007

APPLICANT Overlook Station Subdivision

REQUEST Subdivision



DETAIL SITE PLAN



APPLICATION NUMBER 7 DATE March 15, 2007
 APPLICANT Overlook Station Subdivision
 REQUEST Subdivision



NTS