

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: February 1, 2018****DEVELOPMENT NAME**

Kola Mobile, LLC

LOCATION3673 & 3679 Airport Boulevard
(South side of Airport Boulevard, 416'± East of Montlimar Drive).**CITY COUNCIL
DISTRICT**

District 5

AREA OF PROPERTY

2 lots / 1.6 ± Acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow an expansion of an existing restaurant for a development with shared parking and access between multiple building sites.

**TIME SCHEDULE
FOR DEVELOPMENT**

Fall 2018

**ENGINEERING
COMMENTS**

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. A 25' riparian buffer may be required, during development, along the edge of anything considered by ADEM to be a water of the state.
4. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
5. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a

Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

6. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

The site is limited to its two existing curb cut to Airport Boulevard Service Road with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. The proposed parallel spaces must be 23' in length, or 20' if the island areas are proposed to be striped and not raised curb.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

REMARKS

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow an expansion of an existing restaurant for a development with shared parking and access between multiple building sites.

This site most recently appeared before the Planning Commission at its November 6, 2003 meeting where the Commission approved the amending of a previously approved PUD to allow shared access and shared parking between multiple sites and the relocation of an interior lot line.

The site has been given a District Center land use designation, per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies across the city to larger areas of existing mixed-use character or where such character is encouraged. These areas will include moderate to high-density residential (minimum densities of 6 du/ac) in dynamic, horizontal or vertical mixed use environments, to provide a balance of housing and employment.

District Centers generally serve several surrounding neighborhoods and may even have a city wide or region-wide reach. As such, they are often anchored by a major commercial or institutional employer such as a shopping mall or a medical center.

Depending on location and assigned zoning, residential areas in District Centers may incorporate a mix of housing types, ranging from mid-rise multifamily buildings containing apartments and lofts, to townhouses and detached single-family homes. Major civic cultural institutions and public spaces provide regional and neighborhood destinations.

District Centers should be designed to induce pedestrian activity, with high quality streetscapes connecting the different components of a center as well as the center to its surrounding area. DC districts may be served by transit and include development of an intensity and design that supports transit use.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The site is currently developed with a vacant building that was previously a dine-in restaurant, and another multi-tenant building that consist of a pool hall/ lounge, and possibly one other active business. The site plan provided depicts a 32,869 square foot retail building however there is no information provided identifying each tenant space, the use of the space, and the square footage of each space. The lack of tenant and square feet information means that staff cannot determine if the parking depicted is sufficient for the overall development.

The site fronts the service road for Airport Boulevard, a major street with curb and gutter with what appears to be an adequate right-of-way. The site plan should however be revised to depict the actual right-of-way width.

Access management is a concern, thus the site should be limited to its two existing curb-cuts.

As it relates to tree and landscaping, the site is not creating a significant increase to the overall building site to trigger additional tree and landscape requirements. All trees and landscaping must comply with the previously approved Planned Unit Development requirements.

The applicant is planning to make renovations to the vacant building to accommodate the new dine-in restaurant. The applicant plans to add two exterior coolers, a seating addition on the front of the building, a new exterior entry structure, and exterior sitting areas. The site plan does not clearly distinguish the square footage and the outdoor seating, which will impact parking requirements. By adding additional seating the applicant will be increasing the building foot print by an estimated 410 square feet. The estimated total square footage for the new restaurant building will be 7,466 square feet. The site plan indicates that the current total square footage for all buildings in the PUD is 39,925 square feet and the proposed square footage with renovations will be 40,335 square feet for all buildings located within the PUD. The site plan should be revised to depict the square footage and outdoor seating space.

In regards to parking spaces, the site analysis box depicted on the site plan illustrates 235 parking spaces. The site plan also illustrates that the restaurant is 7,466 square feet thus requiring 75 parking spaces and the remainder of the site as retail making up 32,869 square feet with 110 parking spaces. The site analysis is incorrect because it depicts the 32,869 retail space to the wrong parking ratio; therefore the calculations are incorrect. Although the total amount of required parking spaces appears to remain sufficient staff, will need a revised site plan depicting each unit space in the multi-tenant building and the use of each space to properly determine parking calculations.

There appears to be no issues regarding traffic circulation within the PUD due to changes made by the new restaurant.

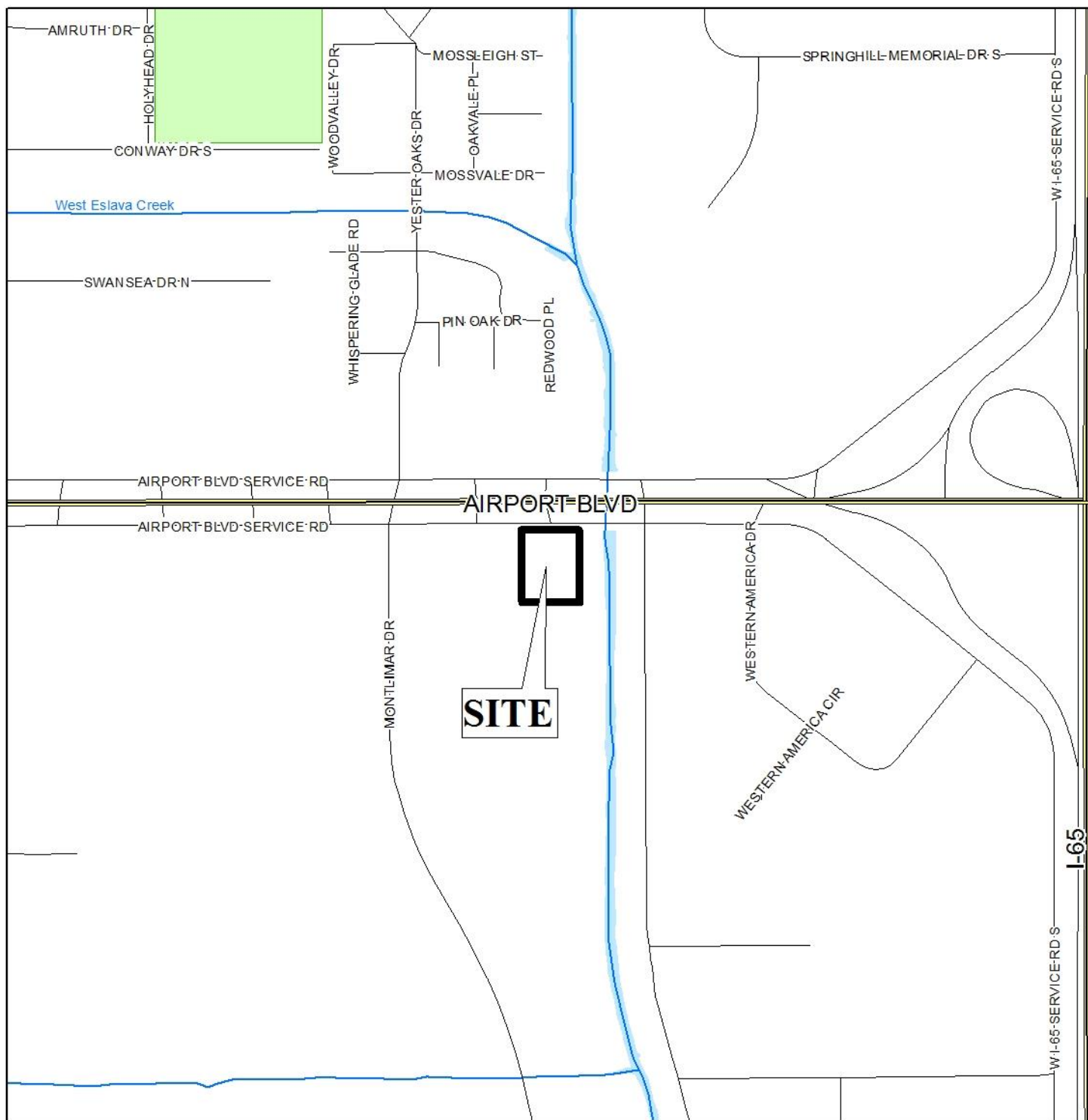
It should be pointed out that the subject property has a 10' water and sewer easement within the 25' minimum building setback. A note should be placed on the site plan stating no structures shall be constructed or placed in any easements.

The revised site plan should be detailed and clearly identify the changes and proposed revocations and additions to the site.

RECOMMENDATION **Planned Unit Development:** Based upon the preceding, this application is recommended for Holdover until the March 15, 2018 meeting, with revisions due by Wednesday February 15, 2018 to address the following:

- 1) submission of a revised site plan that depicts the overall site including the proposed restaurant and the multi-tenant building, identifying each tenant space, the use of the space, and the square footage of each space;
- 2) revision of the site plan to depict the right-of-way width along Airport Boulevard Service Road; and
- 3) revision of the site analysis information to be in compliance with Section 64-6 of the Zoning Ordinance regarding off street parking ratios.

LOCATOR MAP



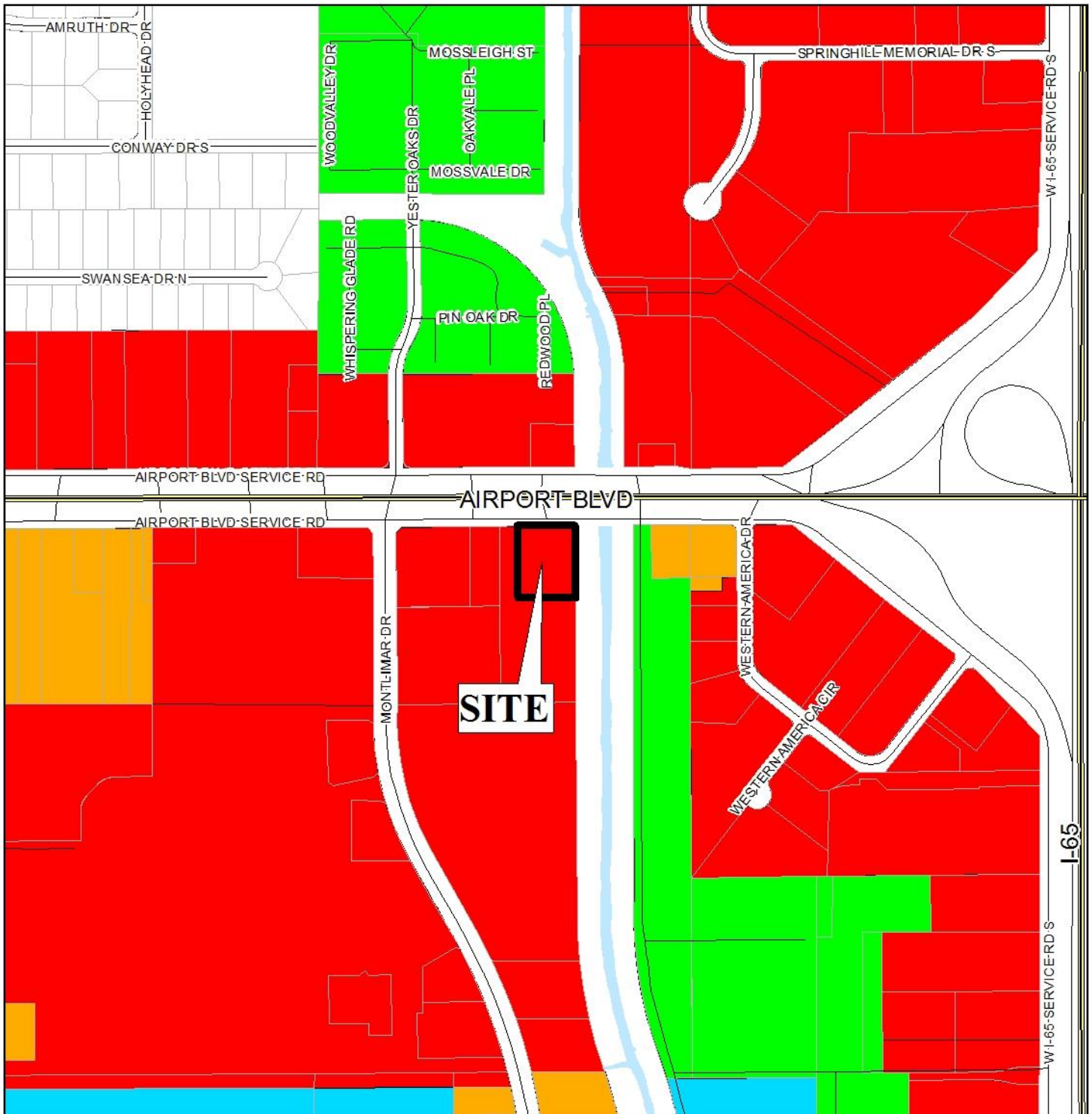
APPLICATION NUMBER 7 DATE February 1, 2018

APPLICANT KOLA Mobile, LLC

REQUEST Planned Unit Development



LOCATOR ZONING MAP



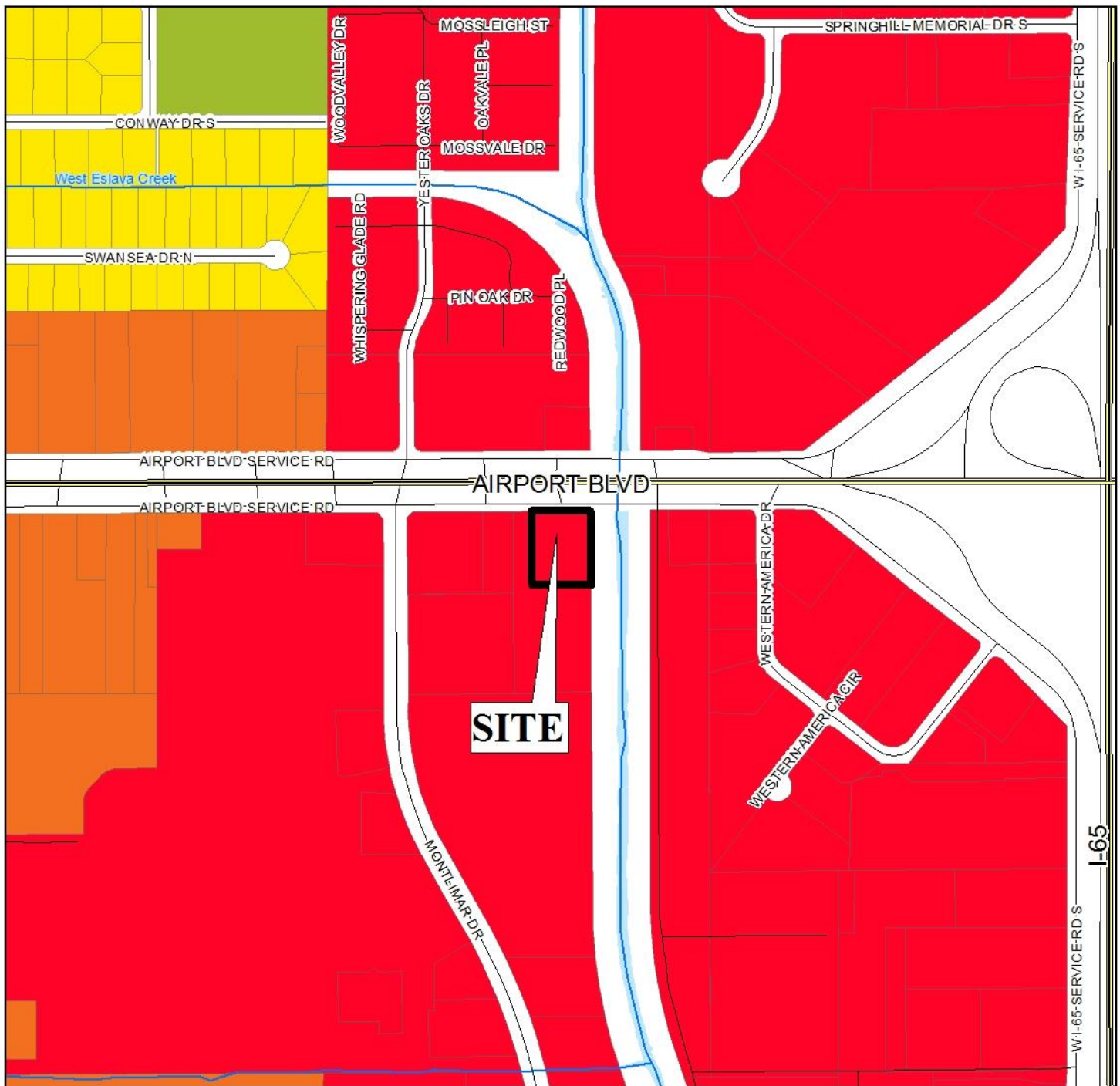
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FLUM LOCATOR MAP



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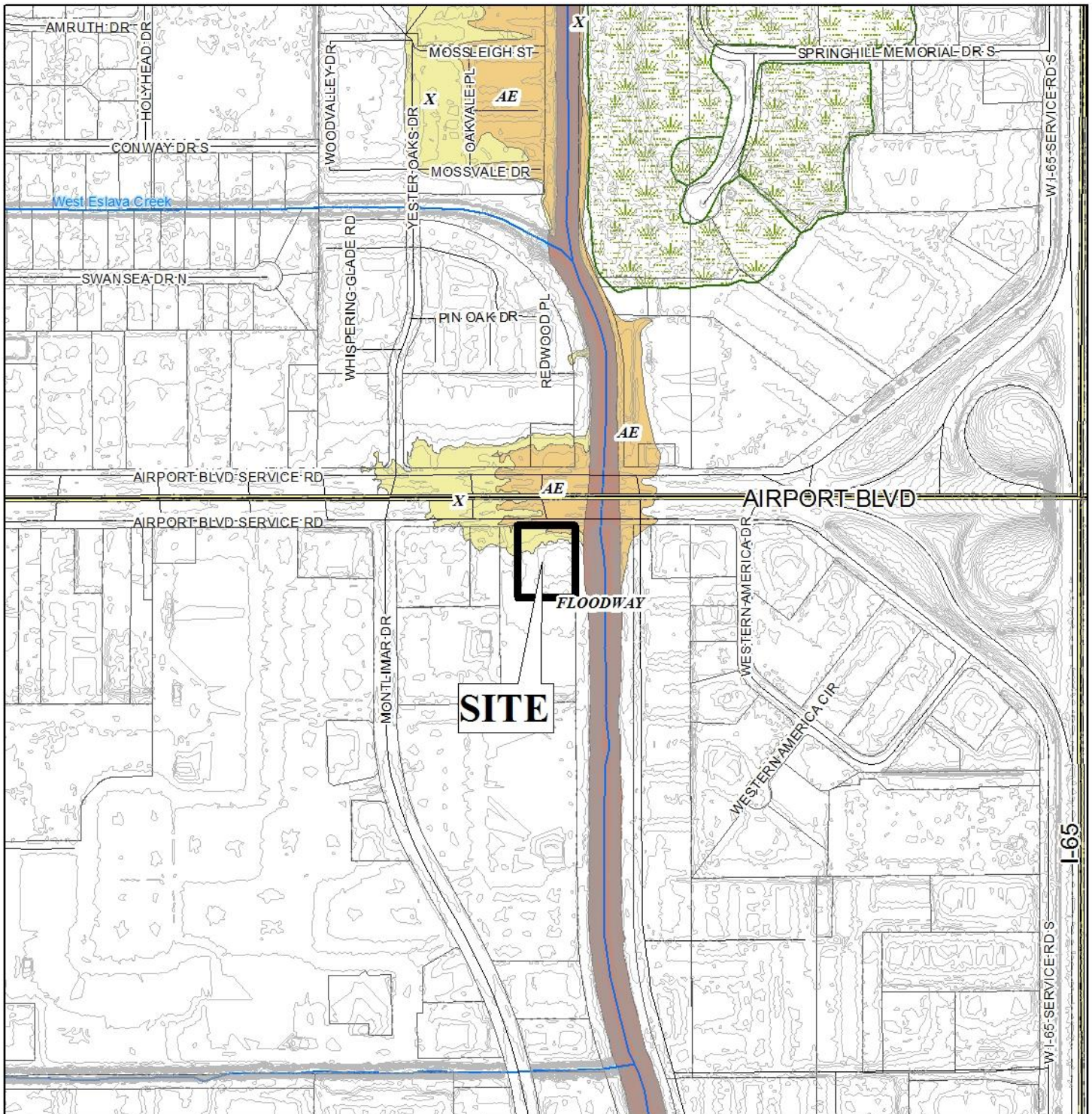
APPLICANT KOLA Mobile, LLC

REQUEST Planned Unit Development

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



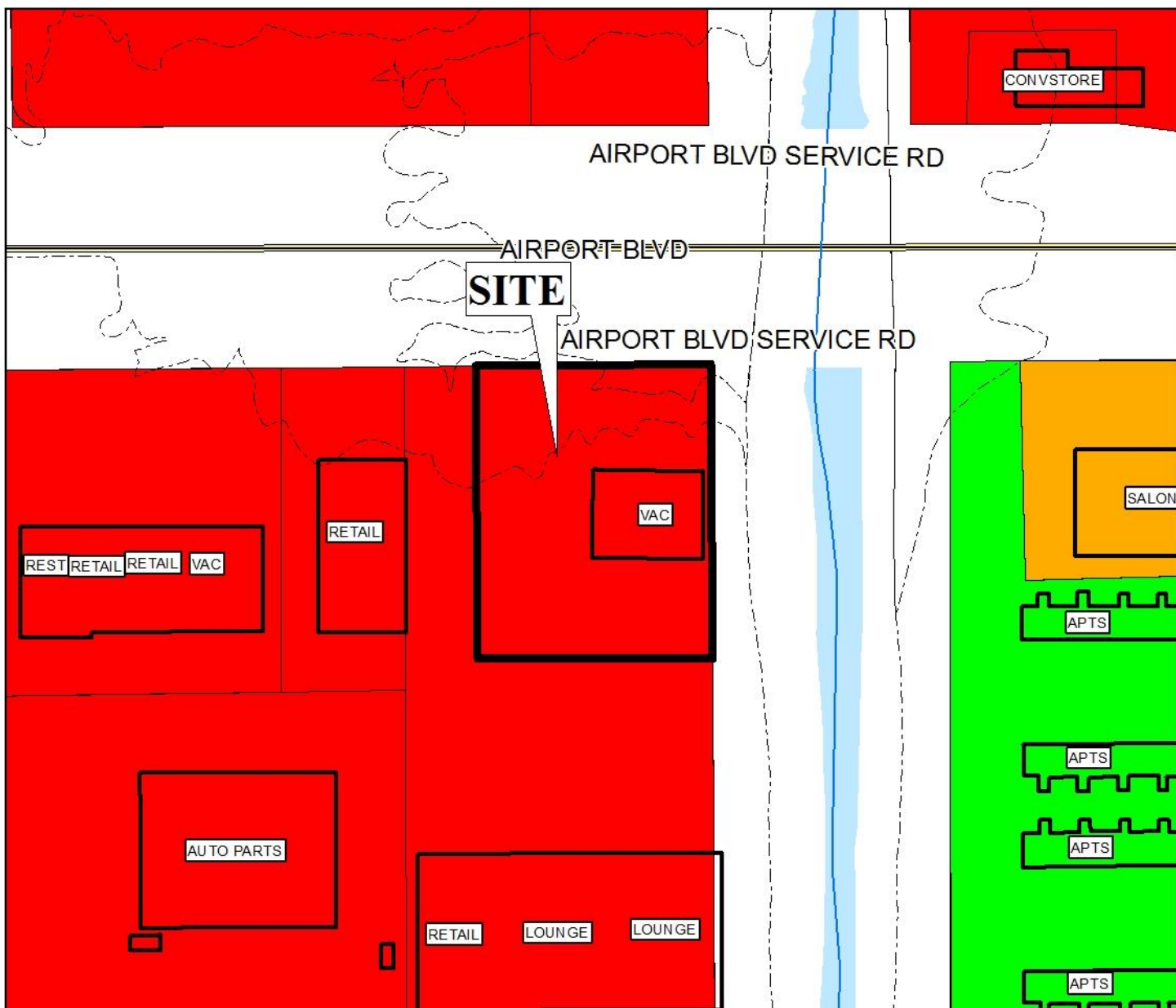
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units. Residential units are located to the southeast.

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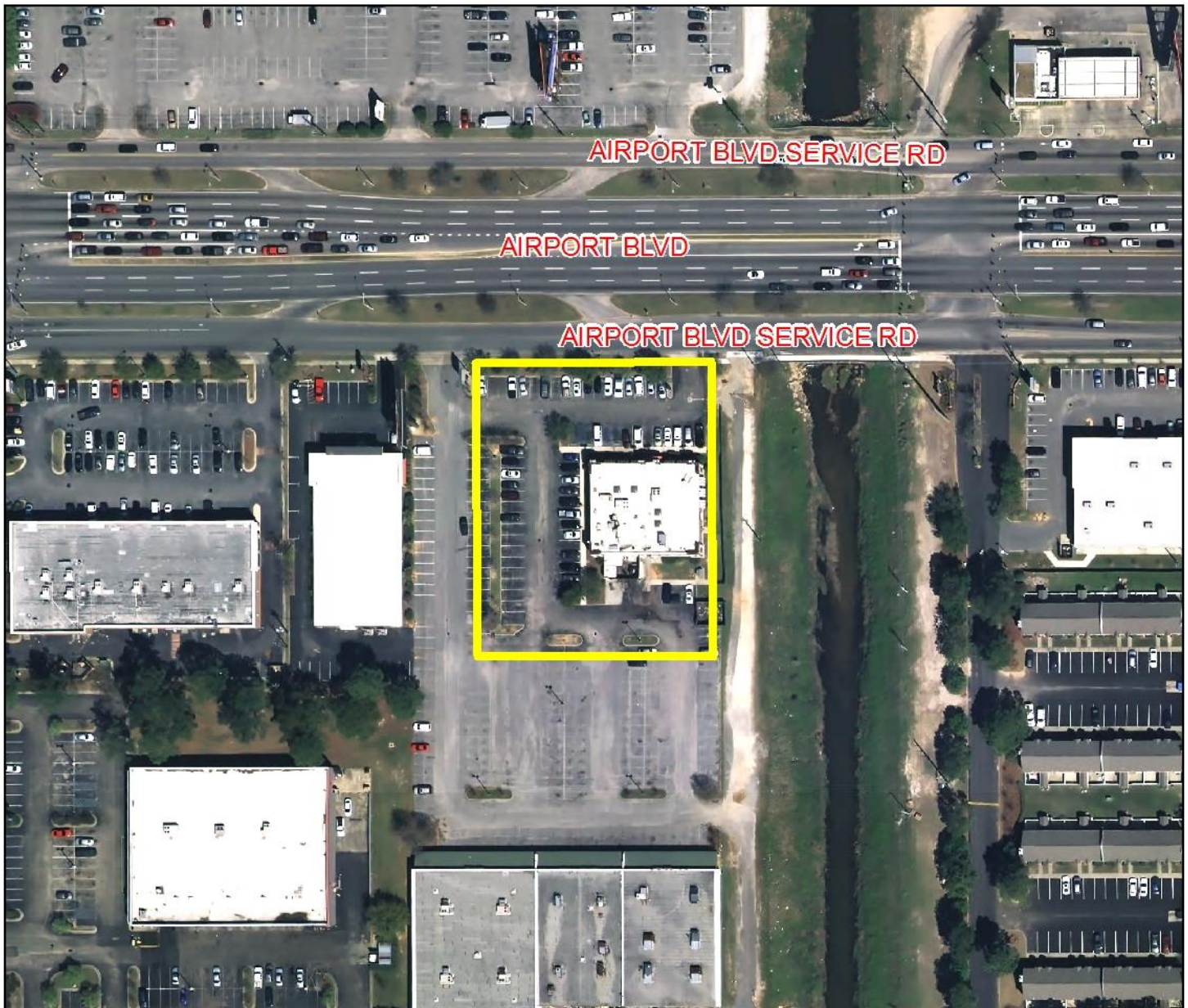
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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by commercial units. Residential units are located to the southeast.

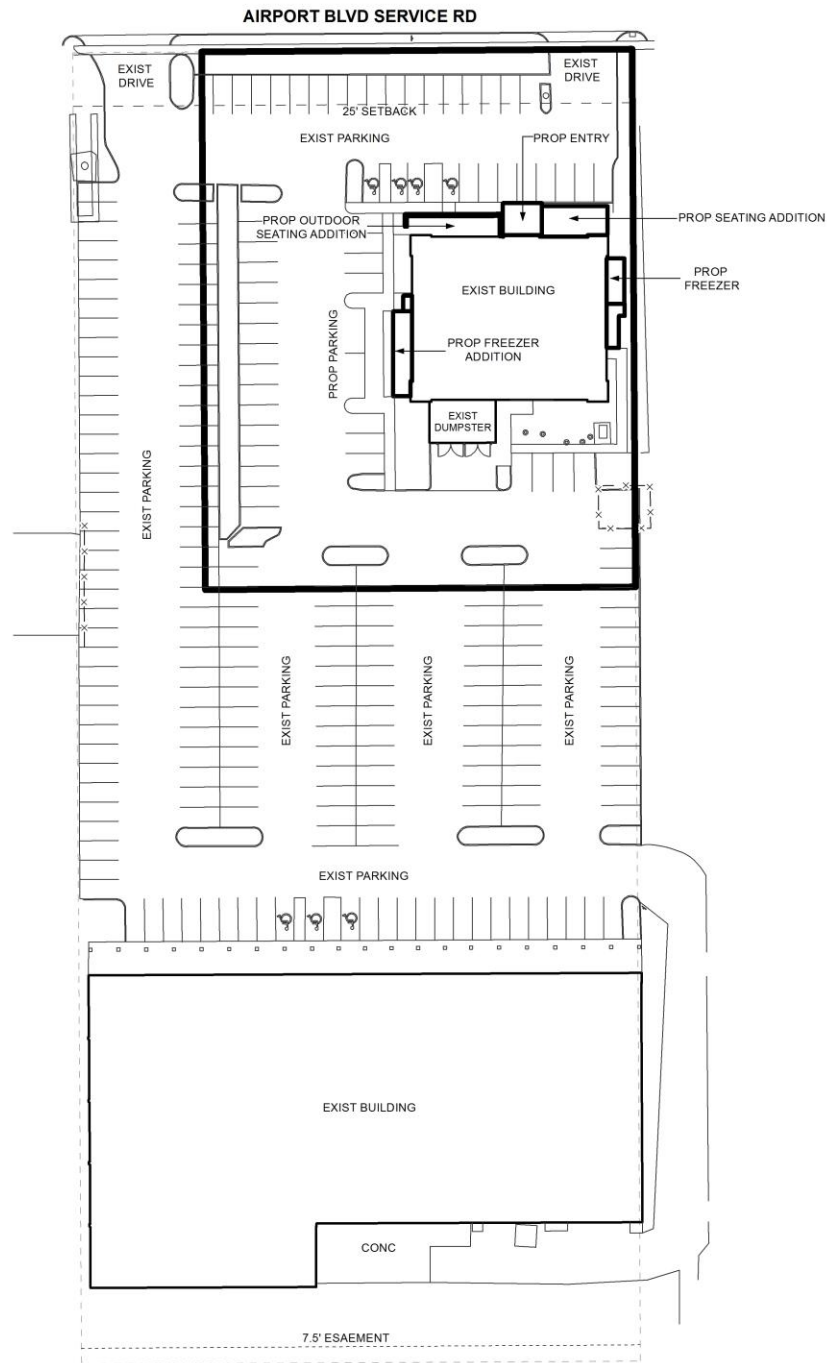
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SITE PLAN



The site plan illustrates the existing building, existing parking, setback, proposed building additions, and proposed parking.

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NTS

