

**SIDEWALK WAIVER REQUEST
STAFF REPORT**

Date: April 3, 2014

NAME Janice Bowers

LOCATION 3200 Halls Mill Road
(West side of Halls Mill Road at the West terminus of Greenbrier Drive).

PRESENT ZONING B-3, Community Business District

ENGINEERING COMMENTS Engineering recommends that a sidewalk waiver be approved due to the following site conditions:

- 1. The existing edge of Halls Mill Rd. DOES NOT contain any curb or curb and gutter to prevent vehicles from driving off of the asphalt roadway.
- 2. According to the submitted cross-section the existing edge of Halls Mill Road appears to be too close to the existing embankment to provide a sidewalk with separation between the sidewalk and the edge of pavement.

URBAN FORESTRY COMMENTS Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Installation of a sidewalk to City of Mobile’s standards will have a negative impact on the existing tree roots along Halls Mill Road.

REMARKS The applicant is requesting a waiver for the construction of a sidewalk along Halls Mill Road.

This site appeared before the Planning Commission at its January 16, 2014 meeting for a 1-lot Subdivision, which was approved. Engineering recommended a sidewalk be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. Thus, a sidewalk waiver request has been submitted by the applicant.

The site fronts Halls Mill Road, which functions as a collector street, without curb and gutter

There are elevation issues that may cause concerns if a sidewalk is installed, and how it would connect to any future adjacent sidewalks along Halls Mill Road. There is also an existing open ditch located on the southeast portion of the property. An open ditch can prevent pedestrians from having the ability to safely cross the property or access the sidewalk.

It should be noted, there is a sidewalk 560 ± feet to the west of the subject site that was constructed in 2005, along the south side of Halls Mill Road, when a new church was developed.

There are also sidewalks within the residential neighborhood across Halls Mill Road from the site. Otherwise, there are no other sidewalks within ¼ mile of the site along Halls Mill Road. There was also a sidewalk waiver request along Halls Mill Road 500 ± feet to the east of the subject site, which was approved by the Commission in 2007.

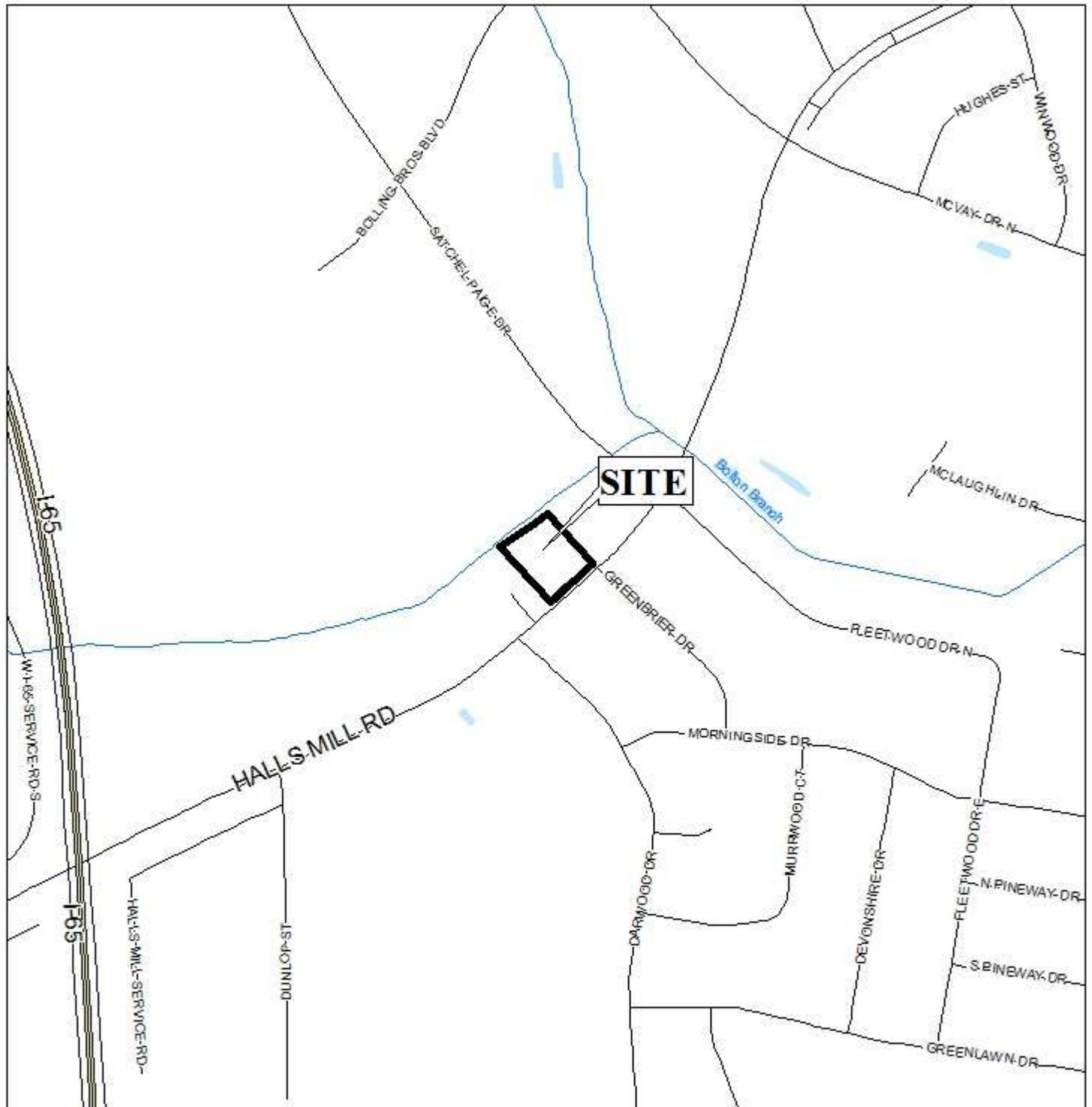
Urban Forestry states, “Installation of a sidewalk to City of Mobile’s standards will have a negative impact on the existing tree roots along Halls Mill Road. Engineering states, “The existing edge of Halls Mill Rd. DOES NOT contain any curb or curb and gutter to prevent vehicles from driving off of the asphalt roadway. According to the submitted cross-section the existing edge of Halls Mill Road appears to be too close to the existing embankment to provide a sidewalk with separation between the sidewalk and the edge of pavement”. Both Urban Forestry and Engineering have stated that the construction of a sidewalk at this site would have an adverse effect on the property and potential pedestrians.

The applicant states “currently too much slope. Owner would like to delay its construction until the pending improvements to Halls Mill Road have been made.” Currently there are no future plans in place to widen this portion of Halls Mill Road. However, the applicant’s suggestion to delay sidewalk construction until such time as Halls Mill Road is improved could be made a condition, if desired by the Planning Commission.

RECOMMENDATION Based upon the preceding, this application for waiver of the sidewalk is recommended for approval subject to the following condition:

1. a sidewalk will be constructed at the time of widening of Halls Mill Road and the placement of curb and gutter.

LOCATOR MAP



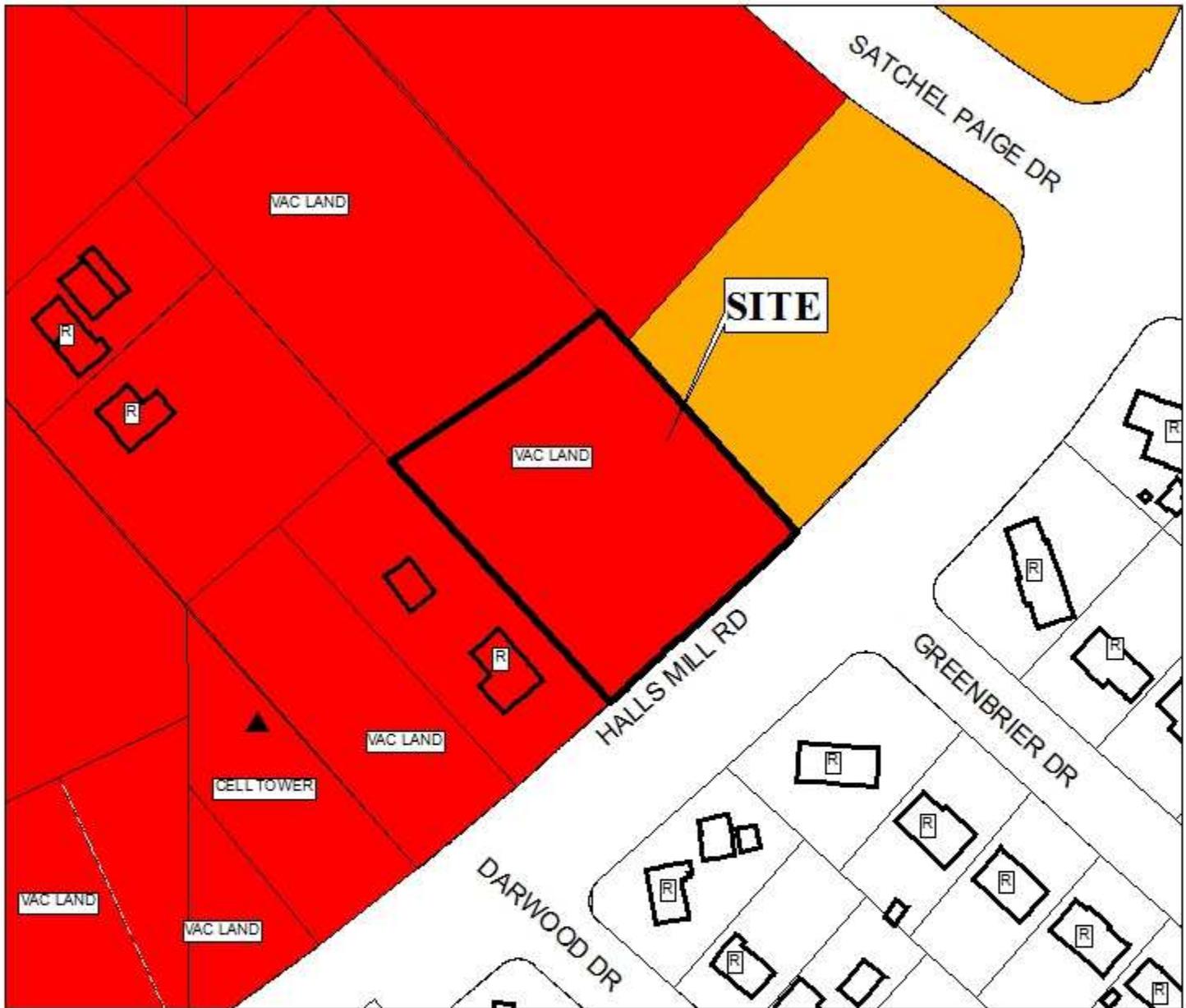
APPLICATION NUMBER 7 DATE April 3, 2014

APPLICANT Janice Bowers

REQUEST Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residences.

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LEGEND

 R-1	 R-2	 R-3	 R-A	 R-B	 H-B	 T-B	 B-1	 LB-2	 B-2	 B-3	 B-4	 B-5	 I-1	 I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



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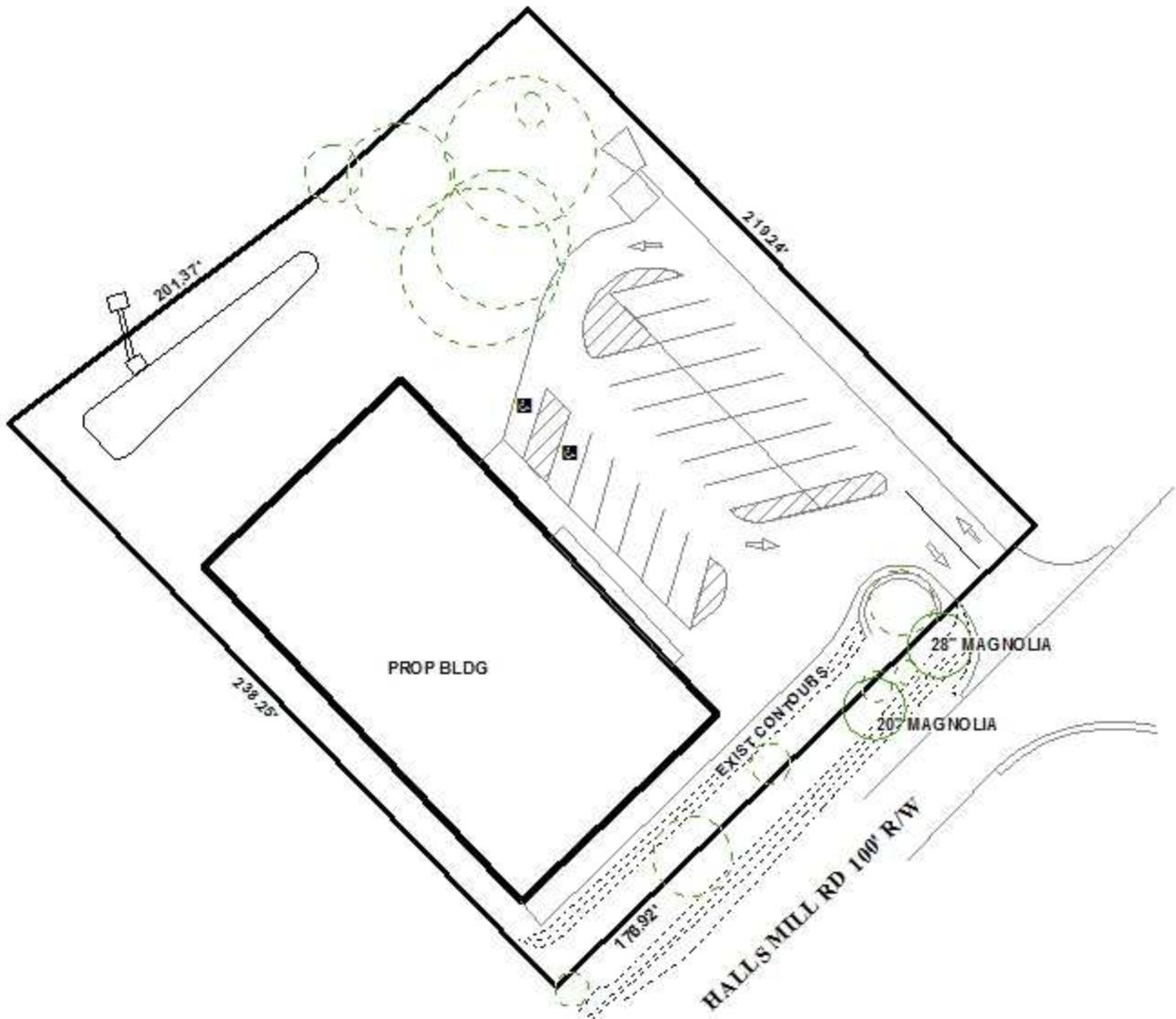
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SITE PLAN



The site plan illustrates the proposed development

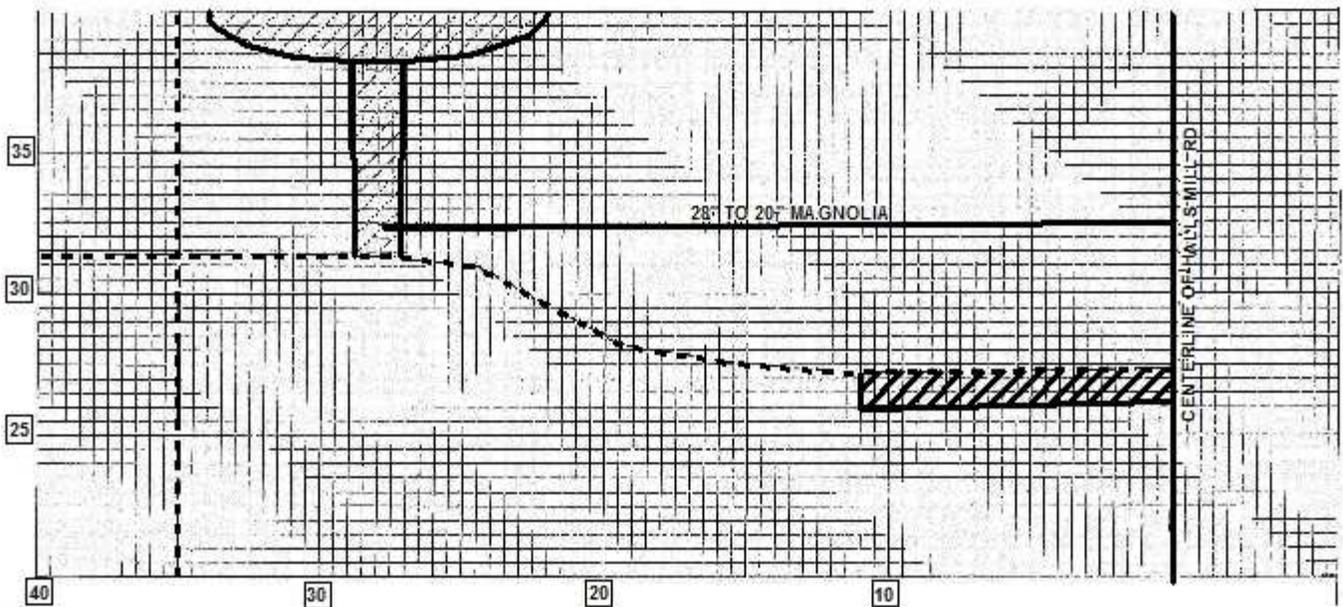
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DETAIL SITE PLAN



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