

**SIDEWALK WAIVER REQUEST
STAFF REPORT****Date: December 4, 2014****NAME**

Independent Living Center Building Company, Inc.

LOCATION

6750 Howells Ferry Road

LOCATION

(Northwest corner of Howells Ferry Road and Erdman Avenue)

PRESENT ZONING

B-1, Buffer Business District

ENGINEERING**COMMENTS**

It appears that there is sufficient room within the ROW, or within the setback line of the property, for the construction of a sidewalk that could be approved through the ROW Permit process.

TRAFFIC ENGINEERING**COMMENTS**

No comments.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Installation of a sidewalk within the right of way will have a negative impact on the existing tree roots along Howells Ferry Road and Erdman Ave.

REMARKS

The applicant is requesting a waiver for the construction of a sidewalk along Howells Ferry Road and Erdman Avenue.

The applicant states *“Trees shown are near the right of way to illustrate challenges along both Erdman Avenue and Howells Ferry Rd.”*

The site was the subject of a one-lot Subdivision application and a previous Sidewalk Waiver request, both heard at the August 7, 2014 Commission meeting. The Subdivision was approved. However, the Sidewalk Waiver was denied due to City Engineering determining that, along both street frontages, while there is an existing drainage ditch within the right-of-way (ROW), it appeared that there was sufficient room for the construction of a sidewalk within the ROW, or within the property.

It should be pointed out that the Mobile City Council adopted a “complete streets” policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities. A

waiver of the sidewalk, as requested, will limit accessibility for pedestrians, transit riders and cyclists.

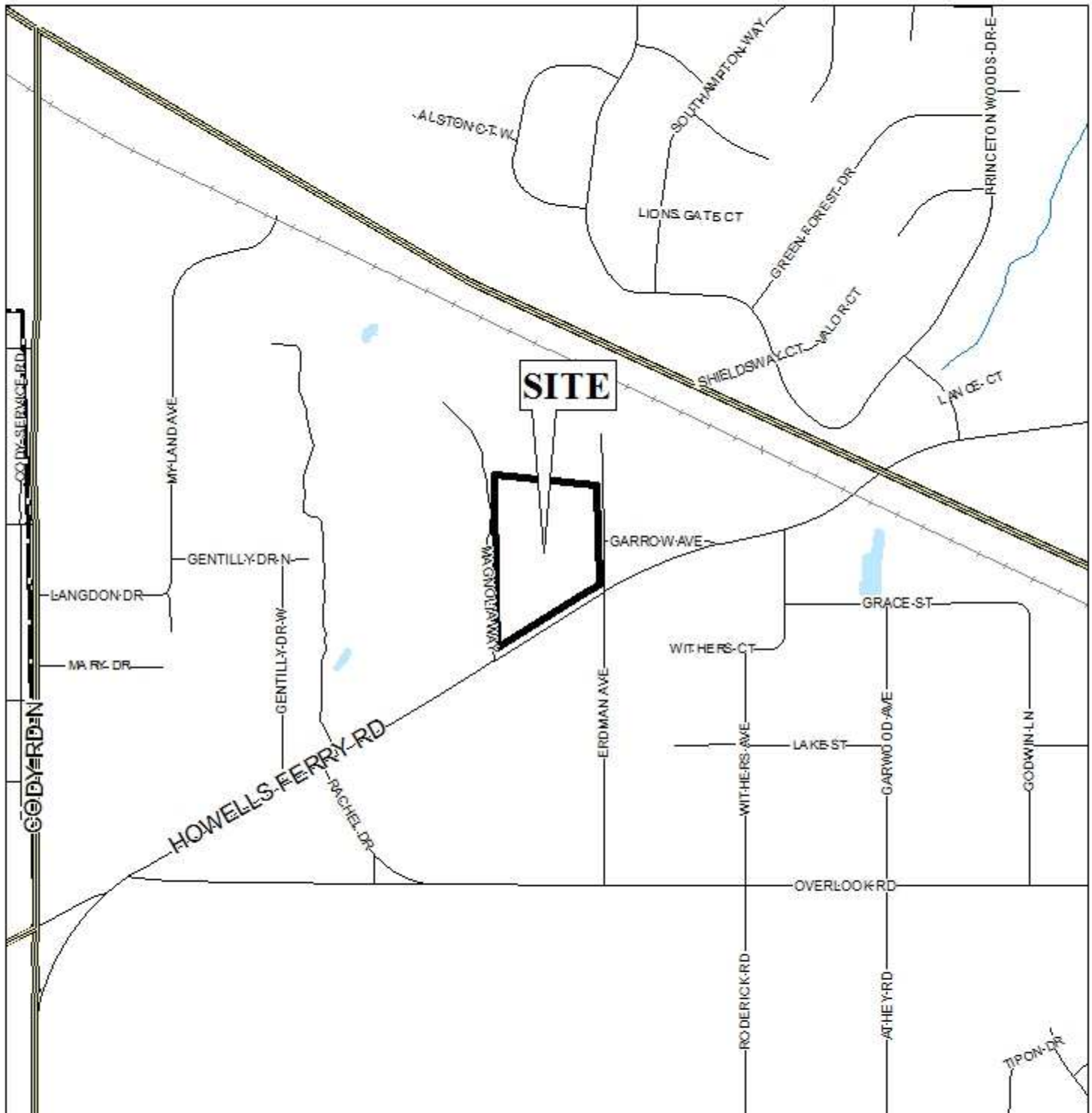
The subject site is located in an older residential neighborhood developed prior to the enforcement of the sidewalk construction requirements upon development, and there are no sidewalks within the immediate area. There have been no Sidewalk Waiver requests within the area, either.

Similar to the previous Sidewalk Waiver request for this site, City Engineering has determined that it appears that there is sufficient room within the ROW, or within the setback line of the property, for the construction of a sidewalk that could be approved through the ROW Permit process. However, Urban Forestry did not furnish comments for that previous case. For this case, Urban Forestry has determined that installation of a sidewalk within the right of way will have a negative impact on the existing tree roots along Howells Ferry Road and Erdman Ave.

RECOMMENDATION

Based upon the preceding, this application for waiver of the construction of a sidewalk along Howells Ferry Road and Erdman Avenue is recommended for approval.

LOCATOR MAP



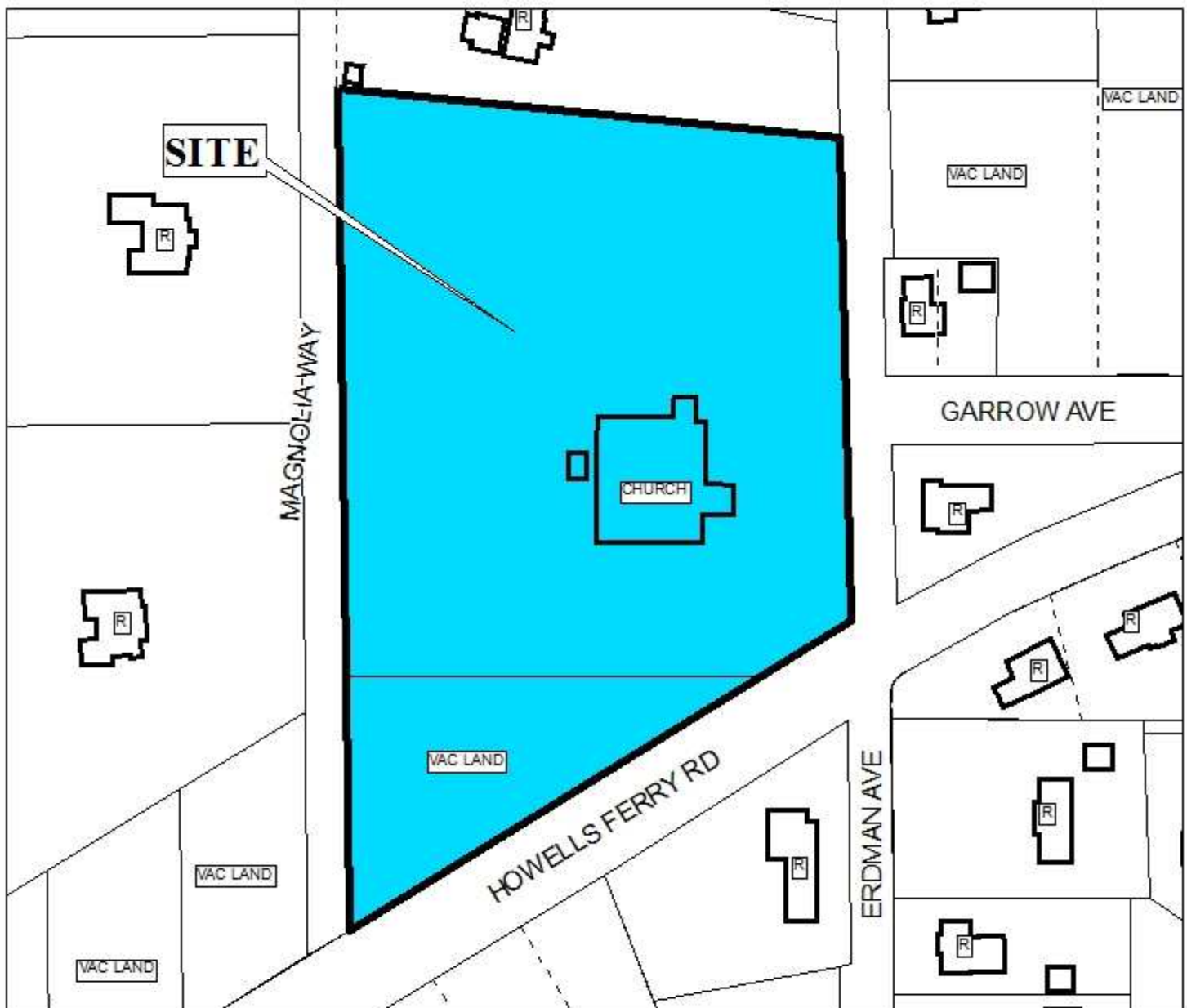
APPLICATION NUMBER 7 DATE December 4, 2014

APPLICANT Independent Living Center Building Co, Inc

REQUEST Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units.

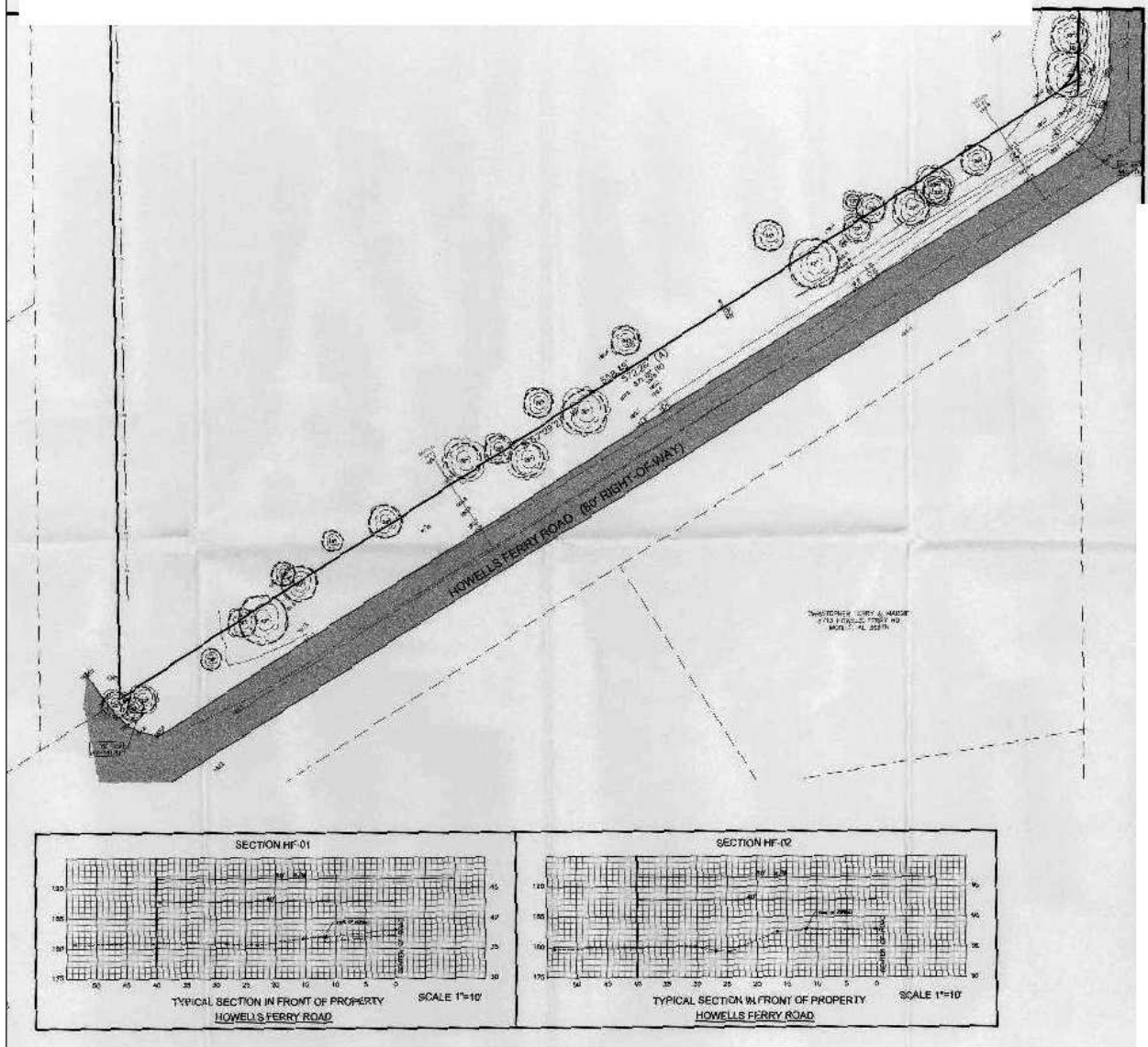
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DETAIL SITE PLAN



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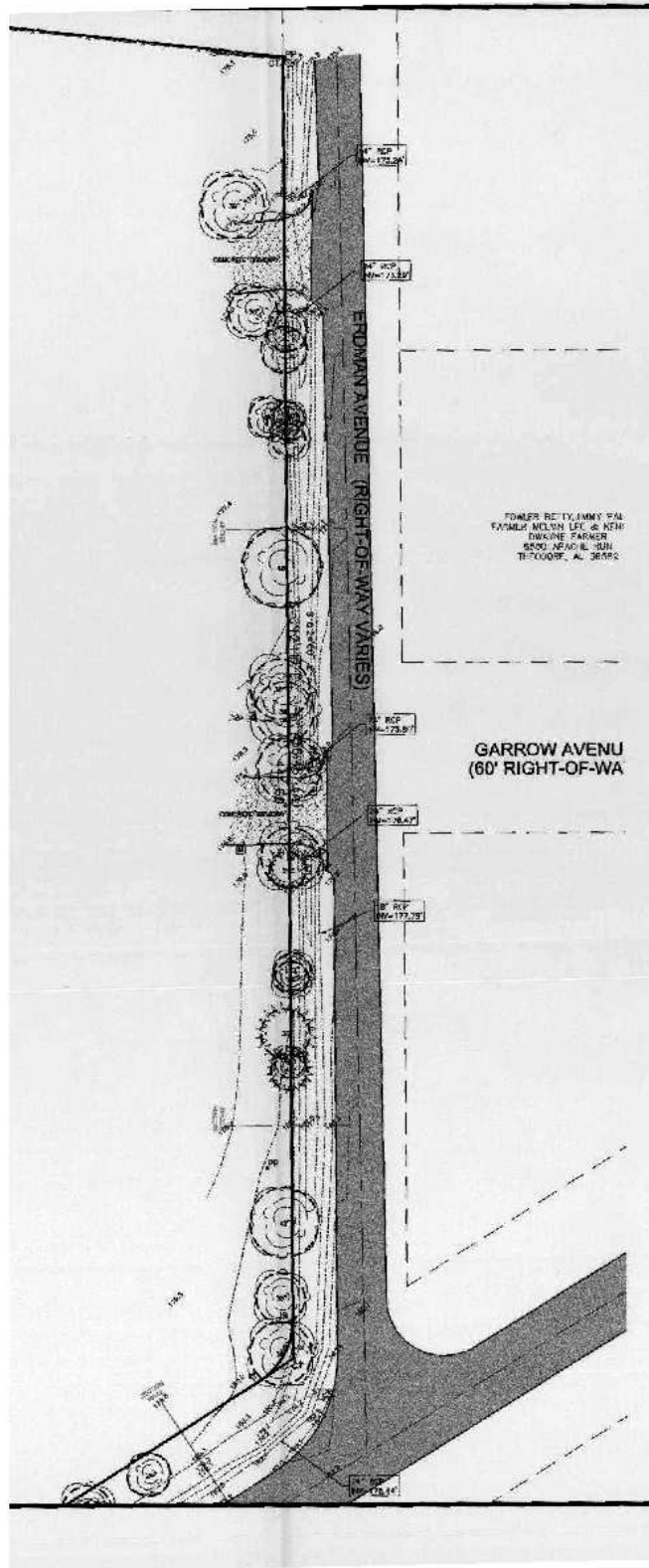
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NTS

DETAIL SITE PLAN



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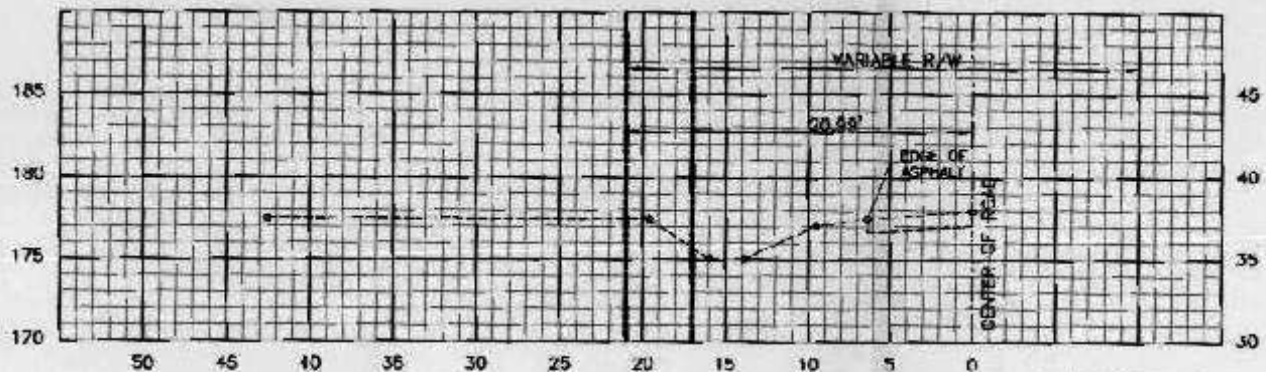
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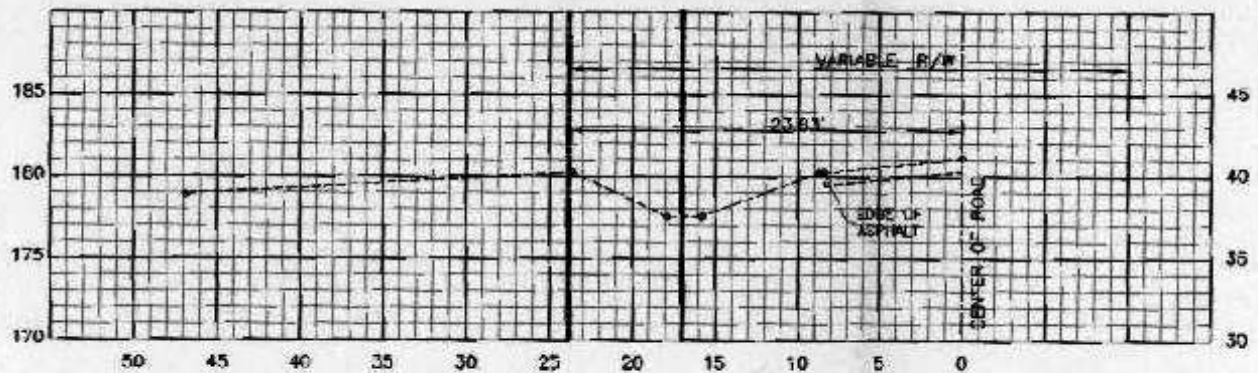
DETAIL SITE PLAN

SECTION ERD-01



TYPICAL SECTION IN FRONT OF PROPERTY
ERDMAN AVENUE

SECTION ERD-02



TYPICAL SECTION IN FRONT OF PROPERTY
ERDMAN AVENUE

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