

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: December 2, 2010****DEVELOPMENT NAME**

Hutchison, Moore, and Rauch LLC

LOCATION

Southeast corner of Dauphin Street and Sage Avenue, and East side of Sage Avenue, ¼ mile+ South of Dauphin Street, extending to the West termini of Exeter Drive and South Sherwood Drive

**CITY COUNCIL
DISTRICT**

District 1

PRESENT ZONING

R-3, Multiple-Family Residence District
LB-2, Limited Neighborhood Business District
B-2, Neighborhood Business District

AREA OF PROPERTY

5 Lots / 38.2 ± Acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow shared access between three building sites.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

**ENGINEERING
COMMENTS**

Due to an existing undersized drainage system, Any stormwater discharge from the east side of the property will require, at a minimum, detention for a 100 year storm event with a 10 year storm event release rate. The receiving system must be analyzed to verify that there is enough capacity to receive the discharge and needs to be analyzed down to at least Ralston Rd. Discharge to the west (Sage Avenue drainage system) also requires analysis verifying that there is sufficient capacity to receive the discharge. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. All runoff from the property needs to be collected on site and shall not discharge onto City of Mobile ROW.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. As per the Traffic Impact Study, the driveway on Dauphin Street is restricted to a right in/right out access only. Changes should be made to the access to accommodate this restriction.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Due to existing Live Oak Trees located within the 25' building setback line along Dauphin Street, all new curb cuts and internal drives for this project shall be coordinated with Urban Forestry in order to minimize the impact to the roots of the Live Oak Trees.

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code.

REMARKS

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow shared access between three building sites. The original Planned Unit Development approval was granted by the Planning Commission at its May 15, 2008 meeting: that application was accompanied by Subdivision and Zoning applications for the overall Graf Dairy property.

The applicant specifically is requesting an amendment to the previously approved PUD to allow a change in the shared access from Lot 2 across Lot 3 to Sage Avenue. The previous PUD depicted shared access between the two lots at their northern limits, however, the current application proposes shared access at their southern limits, with development of a bank on Lot 2, and development of an access drive across Lot 3 to Sage Avenue.

The applicant proposes to construct a new 5,300 square foot \pm bank, with a 4 lane drive through facility and an extra lane for an ATM machine, and 31 parking spaces.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is *site plan specific*, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The overall PUD site contains three vacant residential structures which will be removed as the individual lots are developed. The bank site (Lot 2) is currently vacant, as is the adjacent Lot 3.

The architectural site plan for the bank site on Lot 2 indicates a total of 31 parking spaces, far in excess of the minimum required. The architectural site plan does not indicate the width of the drive-through lanes, however, the Zoning Ordinance requires a 9-foot curb to curb width, thus

the site plan should be revised to label the width as a minimum of 9-feet. There appears to be adequate stacking room for the drive-through, however, stacking lanes are not depicted.

Information is provided regarding tree compliance, however, no information is provided regarding landscape area compliance. Full compliance with the tree and landscape requirements of the Zoning Ordinance will be necessary.

A sidewalk is depicted along Dauphin Street in front of the proposed bank site. The sidewalk appears to accommodate the existing large live oak trees in the right-of-way. The applicant should review the requirements of the Americans with Disabilities Act regarding connecting commercial sites to adjacent public sidewalks, and revise pedestrian access if necessary.

A generator pad is depicted on the site plan, however, the generator pad will be less than 5 feet from the rear property line. If the generator will exceed 3 feet in height, it must be a minimum of 5 feet from the property line. The adjacent dumpster with enclosure appears to meet the required setbacks.

The previous PUD limited access for the site to both Dauphin Street and Sage Avenue. A Traffic Impact Study submitted with the 2008 applications also identified specific access concerns regarding both streets. The approved PUD from 2008 indicated a total of three curb-cuts to Dauphin Street, and two curb-cuts to Sage Avenue. Only one access point to Dauphin Street is depicted, from Lot 1, and one access point to Sage Avenue, from Lot 3. The driveway number, size and location are limited to an approved PUD site plan, subject to Traffic Engineering approval, and are to be designed to comply with AASHTO standards.

The previous PUD approval required specific buffering and site improvement requirements, as follows:

- *provision of a natural buffer with a 6' high wooden privacy fence along the East property line where the LB-2 abuts residentially zoned properties, and a 6' high wrought iron fence with brick columns with a 5'-7' wide, densely planted natural vegetative buffer along the East property line where the R-3 abuts residentially zoned properties;*
- *construction and repairs of sidewalks along Dauphin Street and Sage Avenue as necessary;*

These requirements should apply to the current PUD.

As PUD approval is site plan specific, and as no development is proposed at this time for Lots 1, 3, 4 and 5 (other than driveways associated with the development of Lot 2), a new PUD application will be required prior to any development of Lots 1, 3, 4 and 5: this PUD application supersedes the previously approved PUD site plan.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) Compliance with Engineering comments (*Due to an existing undersized drainage system, Any stormwater discharge from the east side of the property will require, at a minimum, detention for a 100 year storm event with a 10 year storm event release rate. The*

receiving system must be analyzed to verify that there is enough capacity to receive the discharge and needs to be analyzed down to at least Ralston Rd. Discharge to the west (Sage Avenue drainage system) also requires analysis verifying that there is sufficient capacity to receive the discharge. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. All runoff from the property needs to be collected on site and shall not discharge onto City of Mobile ROW.);

- 2) Compliance with Traffic Engineering comments (*Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. As per the Traffic Impact Study, the driveway on Dauphin Street is restricted to a right in/right out access only. Changes should be made to the access to accommodate this restriction.*);
- 3) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Due to existing Live Oak Trees located within the 25' building setback line along Dauphin Street, all new curb cuts and internal drives for this project shall be coordinated with Urban Forestry in order to minimize the impact to the roots of the Live Oak Trees.*);
- 4) Revision of the bank site plan to depict full compliance with the tree and landscape requirements of the Zoning Ordinance;
- 5) Revision of the bank site plan and drive-through design to ensure the provision of 9-foot wide minimum drive-through lanes with stacking areas meeting Zoning Ordinance requirements;
- 6) Revision of the site plan to ensure that any proposed generator or other structure exceeding three feet in height complies with all required setbacks;
- 7) Provision of a natural buffer with a 6' high wooden privacy fence along the East property line where the LB-2 abuts residentially zoned properties, and a 6' high wrought iron fence with brick columns with a 5'-7' wide, densely planted natural vegetative buffer along the East property line where the R-3 abuts residentially zoned properties, and the time of development of those lots;
- 8) Compliance with Fire Department Comments (*All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code.*);
- 9) The driveway number, location and size are limited to an approved PUD site plan (one curb-cut to Dauphin Street and one curb-cut to Sage Avenue) subject to Traffic Engineering approval;
- 10) Construction and repairs of sidewalks along Dauphin Street and Sage Avenue as necessary, as the adjacent property is developed;
- 11) Full compliance with all municipal codes and ordinances;
- 12) Submission of a revised site plan reflecting these conditions prior to the issuance of any permits; and
- 13) Submission of a new application for PUD approval prior to the development of Lots 1, 3, 4 or 5 beyond the driveways associated with the development on Lot 2.

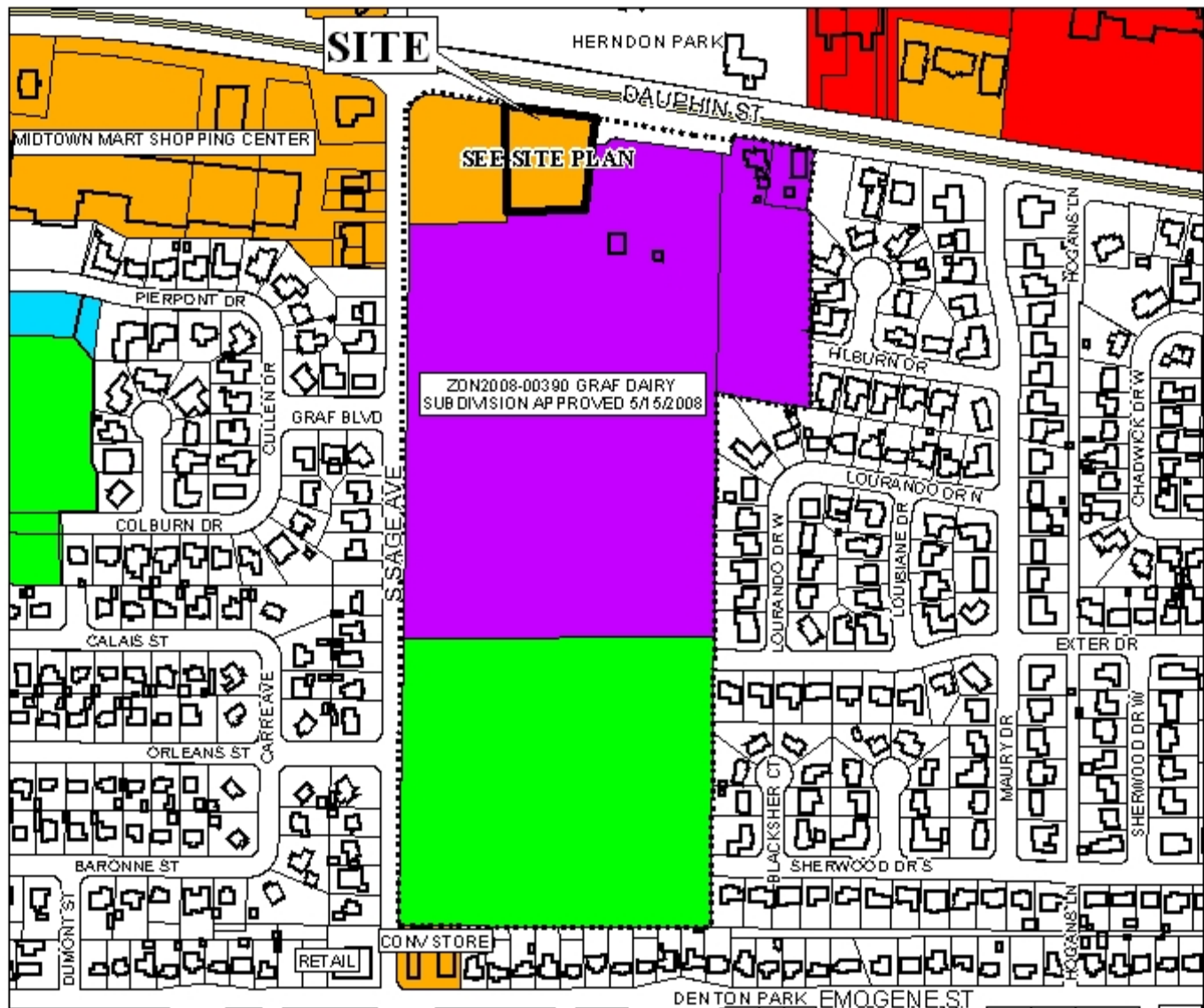
LOCATOR MAP



APPLICATION NUMBER 7 DATE December 2, 2010
APPLICANT Hutchison, Moore, and Rauch LLC
REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by miscellaneous land use.

APPLICATION NUMBER 7 DATE December 2, 2010

APPLICANT Hutchison, Moore, and Rauch LLC

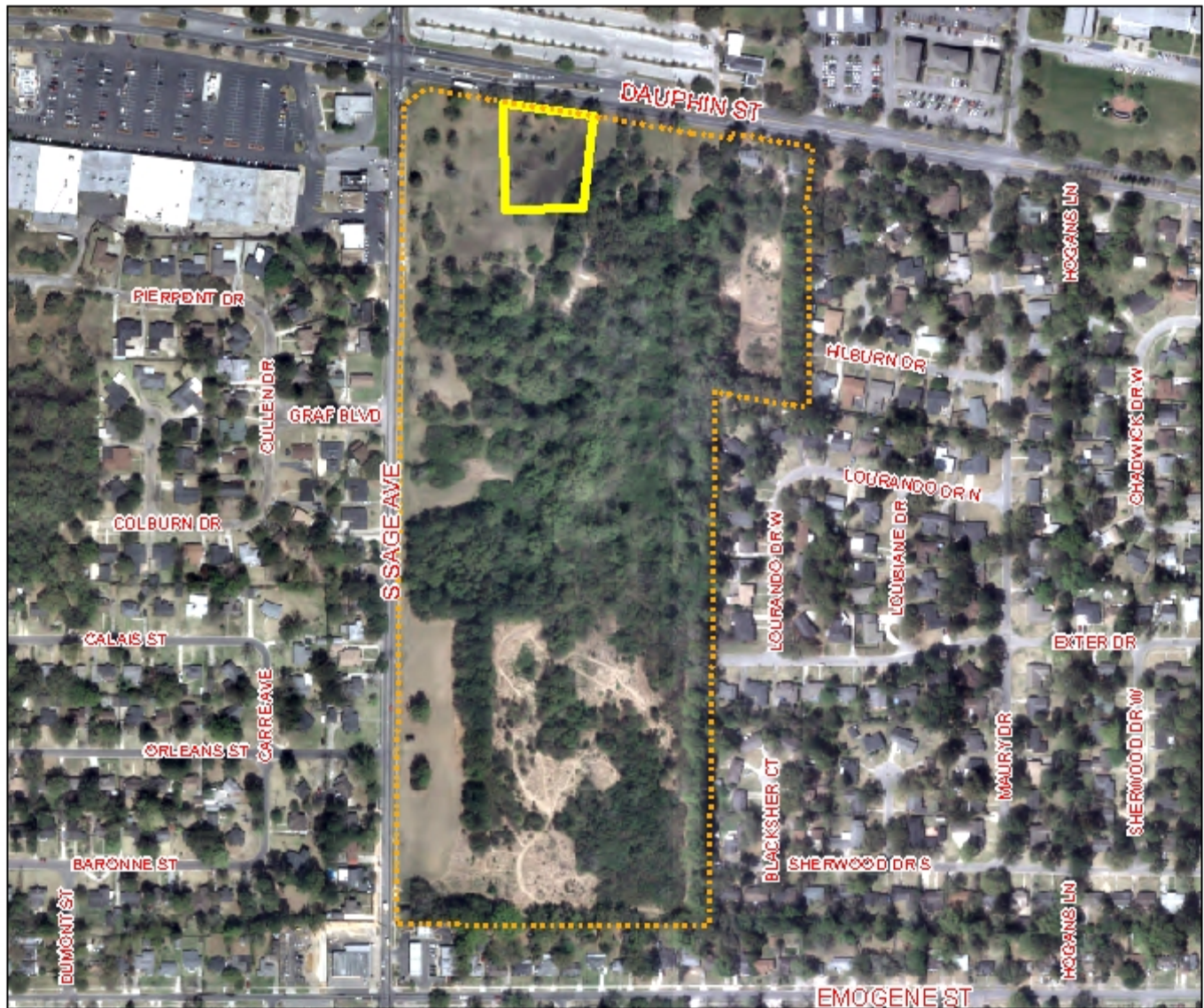
REQUEST Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

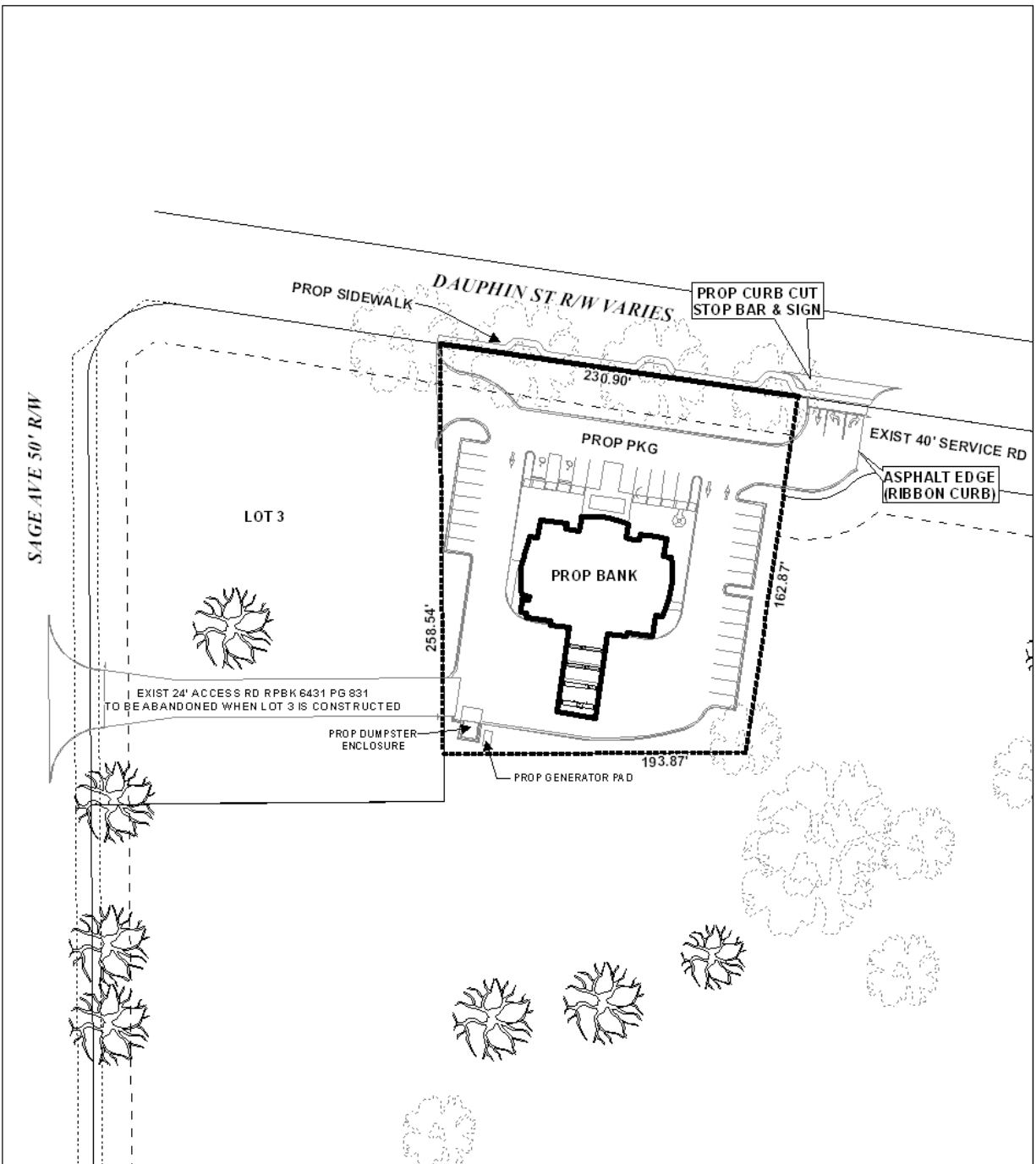


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SITE PLAN



The site plan illustrates the proposed bank, parking, and vehicular access locations.

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