

HOLLOWAY PLACE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits

Fire-Rescue Department Comments: No comments.

MAWSS Comments: No comments.

The plat illustrates the proposed 2 lot, 1.0± acre subdivision located on the South side of Hunters Trace North, extending to the North side of Hunters Trace, 192'± West of Hunters Lane, within the Planning Jurisdiction. The subdivision is served by public water and sanitary services.

The purpose of this application is shift the common lot line between two legal lots of record. Both lots were created via subdivisions approved by the Planning Commission in 2005 and 2007.

The site fronts on Hunters Trace and Hunters Trace North, both with compliant 50' rights-of-way; therefore, no dedication would be required. As on the preliminary plat, a note should be required on the final plat stating that each lot is limited to one curb cut, with the size, location and design to be approved by County Engineering and conform to AASHTO standards.

As on the preliminary plat, the 25' minimum building setback line should be illustrated. The plat includes a table indicating the lot sizes and this should also be provided on the final plat, or each lot should be individually labeled with the same information.

Numerous drainage, utility, and ingress and egress easements are depicted on the plat with a note stating that no building construction is allowed within drainage easements. This note should be revised and placed on the final plat stating that no building construction is allowed within any easements.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

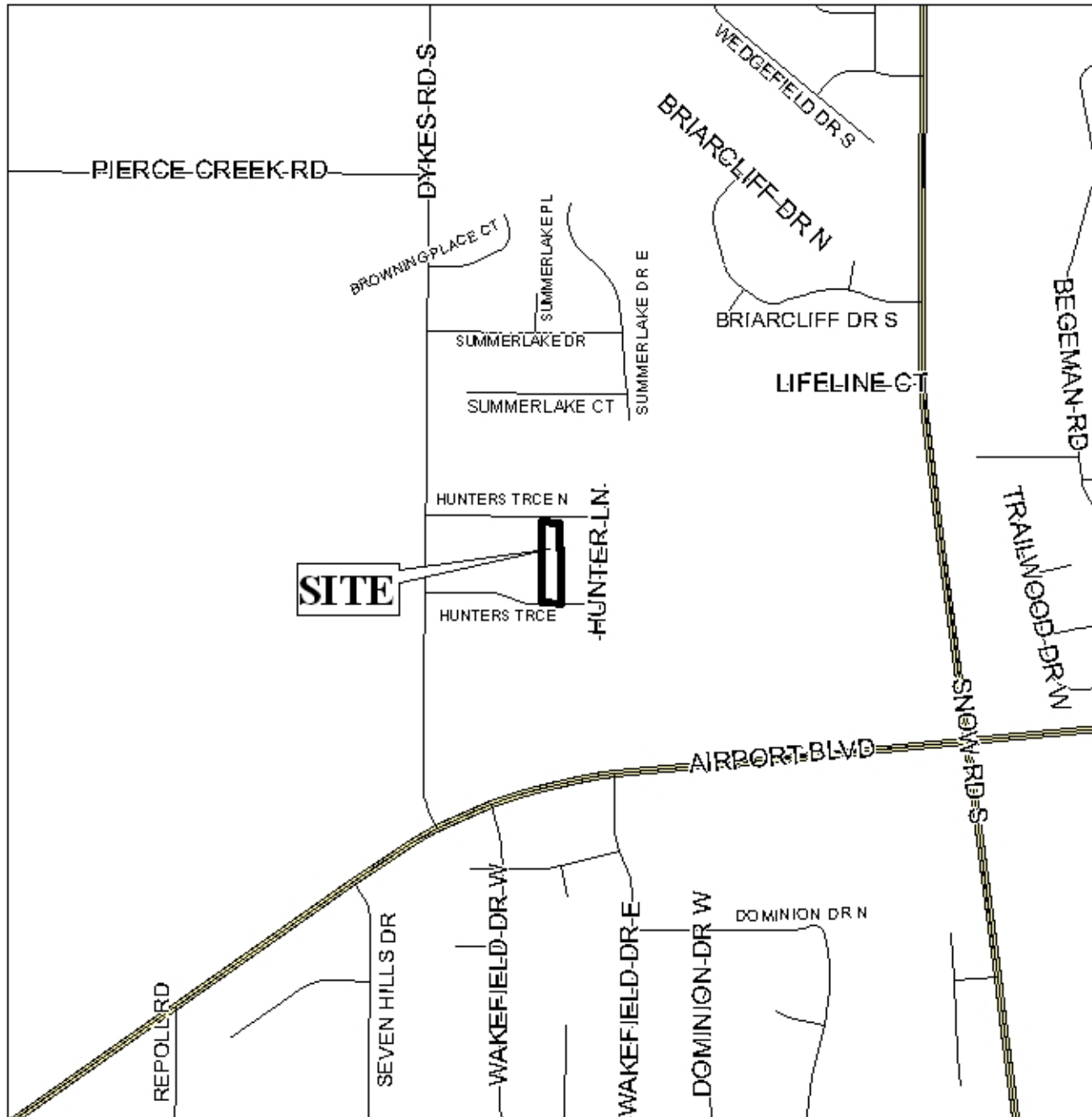
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. The note on the preliminary plat addressing this should also be placed on the final plat.

A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that each lot is limited to one curb cut, with the size, location and design to be approved by County Engineering and conform to AASHTO standards;
- 2) illustration of the 25' minimum building setback line along both street frontages;
- 3) labeling of each lot with its size in square feet and acres, or the furnishing of a table on the plat providing the same information;
- 4) placement of a note on the final plat stating that no building construction is allowed within any easements;
- 5) placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 6) placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 7) placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

LOCATOR MAP



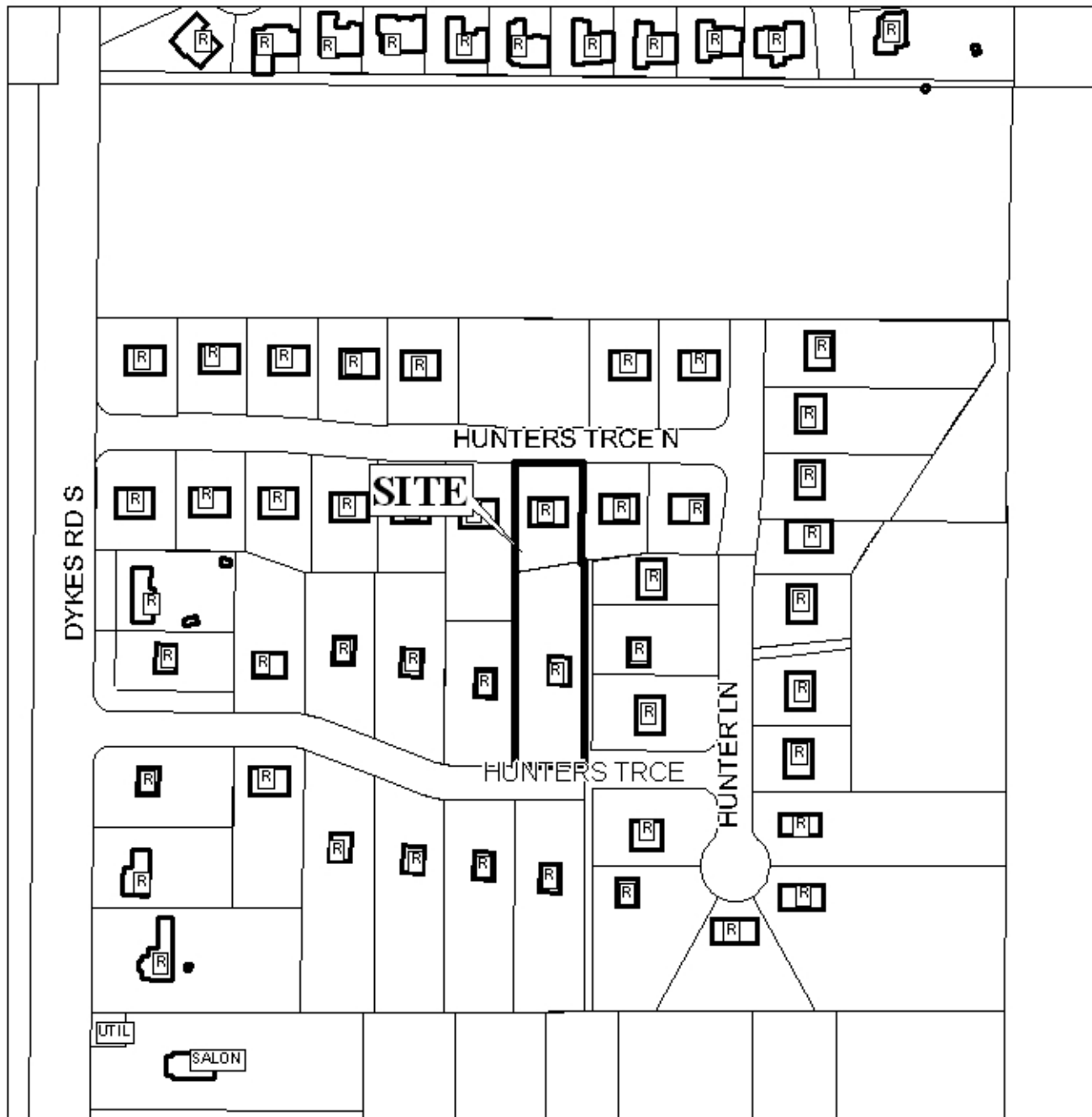
APPLICATION NUMBER 7 DATE March 19, 2009

APPLICANT Holloway Place Subdivision

REQUEST Subdivision



HOLLOWAY PLACE SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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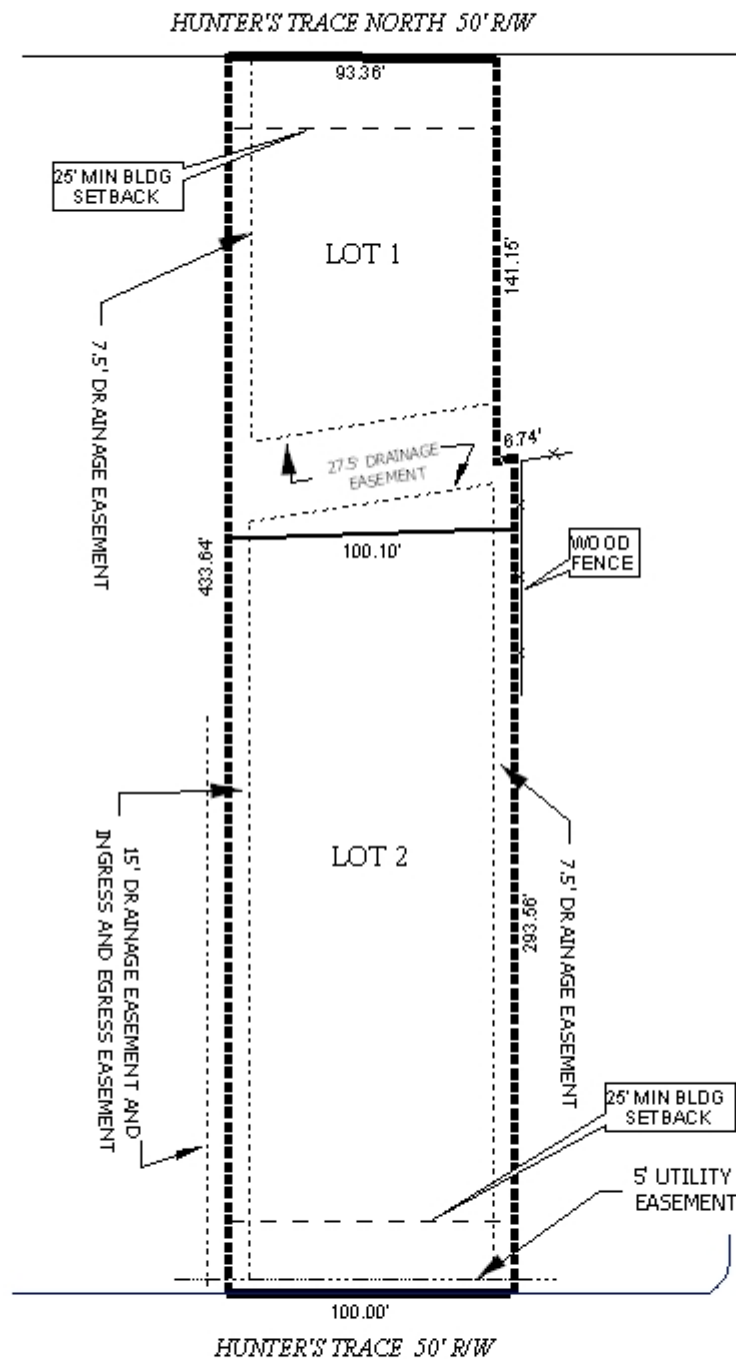
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DETAIL SITE PLAN



APPLICATION NUMBER 7 DATE March 19, 2009
 APPLICANT Holloway Place Subdivision
 REQUEST Subdivision

