

**SUBDIVISION,
PLANNED UNIT DEVELOPMENT (HOLDOVER),
& SIDEWALK WAIVER
STAFF REPORT****Date: August 17, 2017****DEVELOPMENT NAME**

Bruce Smith

SUBDIVISION NAME

Davenport Properties, Unit Three Subdivision

LOCATION401 Cochrane Causeway
(West side of Cochrane Causeway, 600'± North of Sixth
Street)**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

I-2, Heavy Industry District

AREA OF PROPERTY1 Lot / 8.0± Acres (Subdivision)
2 Lots / 20.9± Acres (PUD)**CONTEMPLATED USE**Planned Unit Development Approval to allow shared
access and parking between two building sites and allow
multiple buildings on two building sites to include a new
wash station.**TIME SCHEDULE
FOR DEVELOPMENT**

None given.

**ENGINEERING
COMMENTS*****Subdivision******FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review
and/or signature by the City Engineer):***

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.***
- B. Provide a vicinity map.***
- C. Revise the written legal description or the first bearing label so that they match.***
- D. Provide and label the monument set or found at each subdivision corner.***

-
- E. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
 - F. Provide the Surveyor's Certificate.
 - G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
 - H. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
 - I. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
 - J. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
 - K. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
 - L. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.

Planned Unit Development

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. The detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for the construction shall include a Maintenance and Inspection Plan for the detention facility that is signed and notarized by the Owner(s). This

Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.

5. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
6. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

Sidewalk Waiver

Although it appears that the current site conditions may allow for sidewalk construction within the ROW this area is heavily industrial, is located within ALDOT right-of-way, and runs parallel to an existing, wide drainage ditch that is tidally influenced and frequently inundated.

Therefore it is recommended that this request be approved.

TRAFFIC ENGINEERING

COMMENTS

Cochrane Causeway is an ALDOT maintained roadway. Site is limited to one curb cut with size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Revised for the August 17th meeting:

Driveway number, size, location and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

REMARKS

The applicant is requesting Planned Unit Development approval to allow multiple buildings on a single building site to include a new wash station.

The subject site was made a legal lot of record via Davenport Properties Subdivision, Lot One, on April 7, 2005. A Sidewalk Waiver was also approved for the site at that meeting. In December 2005, an Administrative Planned Unit Development (Admin PUD) was approved for multiple temporary office trailers on the site. The applicant now proposes to construct a permanent equipment washdown building on the site.

The site has been given a Heavy Industry (HI) land use designation, per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation mostly applies to larger parcels primarily developed to high-impact industrial activity which is preferably removed from residential and commercial uses. Light industry, industrial business or heavy commercial lands may separate heavy industry from other land uses.

Heavy industrial areas include collection, treatment, and manufacturing processes which use raw materials, are distinguished by the presence of noise, vibration, and/or odors, and benefit from easy access to a multimodal freight transportation network. Certain types of heavy industry are characterized by low building coverage and activities that rely on large areas of outdoor storage of raw material stockpiles and/or waste-product disposal areas, storage tanks, pipelines, and transportation yards to handle the transfer of heavy materials. The outdoor storage areas should be screened as much as possible by the nature of the stored materials.

Land designated as HI may be underdeveloped due to the presence of wetlands on portions of the parcel. In these cases, the wetlands may serve to buffer surrounding uses from the potential impacts of the heavy industrial use. Undeveloped areas of HI parcels that have tree cover may be used as buffering between the heavy industrial use and other uses. Where buffers do not exist naturally, they should be provided as spelled out in the zoning and subdivision regulations. Open areas reserved for dredge disposal are also designated as HI and may contain wetlands.

In Mobile, port terminal facilities, docks, shipyards, drydocks, etc., are mostly owned by the State of Alabama. Although not subject to local zoning, these facilities are shown as heavy industrial uses in the FLUM.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities. PUD approval expires in one year if no permits are obtained.

The subject site is located on the East bank of the Mobile River and is surrounded by properties zoned I-2.

The applicant states:

“Blakeley Boatworks proposes to construct a new equipment washdown building at their property located at 401 Cochrane Causeway. The current parcel number is R022905000002009. The new washdown building will be used to wash and maintain equipment/trucks. The new 30’ x 40’ x 20’ (eave height) washdown building will be an open-ended metal building structure on a concrete slab. The washdown facility will utilize an automatic wash water treatment system for recycling. A new oil/water separator will be installed to treat the water of any pollutants. The property is located at 401 Cochran Causeway. This lot is currently zoned I-2 and will remain as such.”

The site plan indicates the proposed washdown facility and an area identified as “Future 70’ x 200’ 14,800 SF”. As only details of the washdown facility are given, any future expansion will require an amended Planned Unit Development application.

The parking calculations given on the site plan approved with the 2005 Admin PUD indicated 66 parking spaces were required for the site. However, the current site plan does not provide any parking calculations and only indicates 56 parking spaces provided. Therefore, current parking calculations must be provided and additional designated parking spaces must be provided, if needed. Since at least 25 parking spaces are provided, a photometric plan for the proposed parking area lighting will be required at the time of submitting for building permits. The site plan does not indicate a compliant dumpster nor is there any note referencing refuse collection. The site plan should be revised to either provide a compliant dumpster and enclosure or a note should be placed on the site plan indicating that no dumpster will be utilized and refuse collection will either be by private can service or curbside pick-up.

The 2005 Admin PUD approval required 19 frontage trees. Since only 18 are indicated on the site plan, the site plan should be revised to provide one more overstory frontage tree. A label on the site plan designates Preservation status for the 60” Live Oak tree and this should be retained. As per the 2005 approval, a note should also be placed on the site plan stating that any work on or under the 60” Live Oak tree is to be permitted and coordinated with Urban Forestry, removal

to be permitted only in the case of disease or impending danger. No landscaping calculations are provided; therefore the site plan should be revised to provide compliant landscaping calculations. As previously stated, the site received Sidewalk Waiver in 2005 to waive construction of a public sidewalk along Cochrane Causeway.

A review of 2006 aerial photographs of the site indicates the adjacent property to the South was vacant and undeveloped. However, 2010 aerial photographs indicate that property had been developed as a parking lot and boat repair/laydown yard. It appears that such development was done without any Planning Commission approvals or land disturbance permitting. Property tax records indicate that the current owner/applicant purchased the subject site of the PUD, the adjacent site to the South, and the property directly across Cochrane Causeway from the subject site in 2014. It appears that the previous user of the subject site expanded into the adjacent property. It should be noted that the site plan submitted with this application is not accurate in that it indicates a fence in place along the South property line: Aerial photographs show that there is no fence in place, and that there is extensive shared access between the two properties.

As the business operation actually includes two properties, those properties should be combined into one via a one-lot subdivision, or the second property should be made a legal lot and joined via the PUD. Also, the PUD should be revised to include the expanded operation. A sidewalk along Cochrane Causeway should also be provided along the expanded area, or a Sidewalk Waiver application should be submitted in conjunction with the revised PUD site plan and Subdivision.

RECOMMENDATION **Planned Unit Development:** Based upon the preceding, this application is recommended for holdover to the meeting of August 17th to allow the applicant to address the following items:

- 1) submission of a one lot Subdivision to combine Parcels R022905000002009 and R022905000002008 into one legal lot of record, or to create a legal lot of the latter parcel;
- 2) revision of the PUD site plan to include both properties (Parcels R022905000002009 and R022905000002008);
- 3) provision of a public sidewalk along Cochrane Causeway for Parcel R022905000002008 or the submission and approval of a Sidewalk Waiver application;
- 4) revision of the site plan to provide parking calculations and compliant parking;
- 5) revision of the site plan to provide landscaping and tree planting calculations for the enlarged site and indicate compliance with such calculations; and
- 6) revision of the site plan to either provide a compliant dumpster and enclosure or placement of a note on the site plan indicating that no dumpster will be utilized and refuse collection will either be by private can service or curbside pick-up.

Revised for the August 17th meeting:

The PUD application was heldover from the July 6th meeting to allow the applicant to address the above-listed items. The applicant addressed all items listed. It should be noted that the two parcels listed are not proposed to be combined into one lot. Instead, Parcel R022905000002008 (the Southern property) will be made a legal lot of record to remain separate from Parcel R022905000002009 (the Northern property) which is an existing legal lot of record. The revised and expanded PUD will allow the two lots to share access and parking.

With regard to the revised and expanded PUD, the site plan indicates three existing office buildings on the Southern property with a parking lot which will serve both properties. The parking lot is indicated to be gravel-surfaced, allowed in I-2 districts, with 5 handicap parking spaces on asphalt paving. Parking calculations indicate that 67 parking spaces are required, and 140 are provided, plus the 5 handicap spaces, for a total of 145 spaces. The site plan does not indicate bumper stops for the parking spaces; therefore, the site plan should be revised to indicate that bumper stops will be provided for nose-to-nose parking.

Also shown on the site plan are three existing office buildings on the Southern property which are not indicated on aerial photographs taken in 2014 prior to the applicant's purchase of the property. Therefore, after-the-fact permits should be obtained for these structures.

Both properties are accessed via substandard drives from Cochrane Causeway with entrance gates. However, the site plan does not indicate sufficient vehicle queuing space (60') within the site from the right-of-way to the gates. Therefore, the site plan should be revised to indicate compliant 24' wide paved access drives with 60' vehicle queuing space between the right-of-way and the gates. A note should also be placed on the site plan stating that each property is limited to its existing curb cut to Cochrane Causeway, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The site plan states that there are existing frontage trees along the Southern property; however, a staff visit to the site revealed that frontage trees were only present within the Northern property and not the Southern property. Therefore, the site plan should be revised to indicate frontage trees are proposed within the Southern property. The site plan indicates understory parking trees are proposed. However, since the site is zoned I-2, only frontage trees are required and the parking trees may be eliminated. It should be noted that since the parking area provides for more than 25 parking spaces, a photometric lighting plan will be required along with site plans at the time of submitting for site improvement permits.

The site plan should be revised to illustrate the 25' minimum building setback line along Cochrane Causeway for both properties.

No public sidewalk is indicated along the Cochrane Causeway frontage. In the event the Sidewalk Waiver request is denied for the Southern property, the site plan should be revised to indicate a compliant public sidewalk along Cochrane Causeway.

Two (2) copies of a revised site plan should be submitted to and approved by Planning and Zoning prior to signing the Final Plat for the Subdivision.

Please note that a Planned Unit Development approval by the Planning Commission expires after one year if no permits are obtained.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts Cochrane Causeway, a component of the Major Street Plan with a planned 100' right of way. As the current right-of-way width along the site is 120', no dedication would be required. The plat should be revised to illustrate the 25' minimum building setback line along the street frontage.

The proposed lot meets the minimum size requirements of the Subdivision Regulations. The plat labels the lot size in both square feet and acres and this should be retained on the Final Plat, or a table should be furnished on the Final Plat providing the same information.

As a means of access management, a note should be required on the Final Plat stating that the lot is limited to its existing curb cut, with the size, location and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

With regard to the Sidewalk Waiver request, the applicant states:

"Based on the close proximity of the ditch and shoulder that runs along the West side of the Cochrane Causeway, it would be impractical to put in a sidewalk at this location. Blakeley Island has only industrial sites and no residential housing. Also, there is no existing sidewalk on the Cochrane Causeway."

As per the Engineering comments, it appears that the current site conditions may allow for sidewalk construction within the ROW. However, this area is heavily industrial, is located within ALDOT right-of-way, and runs parallel to an existing, wide drainage ditch that is tidally influenced and frequently inundated. These conditions justify the approval of the Sidewalk Waiver request.

RECOMMENDATION

Subdivision: *The plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:*

- 1) revision of the plat to illustrate the 25' minimum front building setback line along Cochrane Causeway;*

- 2) *revision of the plat to illustrate the 25' minimum front building setback line along Cochrane Causeway;*
- 3) *placement of a note on the Final Plat stating that the lot is limited to its existing curb cut to Cochrane Causeway, with the size, location and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards;*
- 4) *subject to the Engineering comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):*
 - A. *Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.*
 - B. *Provide a vicinity map.*
 - C. *Revise the written legal description or the first bearing label so that they match.*
 - D. *Provide and label the monument set or found at each subdivision corner.*
 - E. *Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.*
 - F. *Provide the Surveyor's Certificate.*
 - G. *Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.*
 - H. *Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.*
 - I. *Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.*
 - J. *Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.*
 - K. *Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.*
 - L. *After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.*
- 5) *subject to the Traffic Engineering comments: (Driveway number, size, location and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 6) *subject to the Urban Forestry comments: [Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).];*
- 7) *subject to the Fire Department comments: [All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).]; and*
- 8) *submittal to and approval by Planning and Zoning of two (2) copies of a revised PUD site plan prior to signing the Final Plat.*

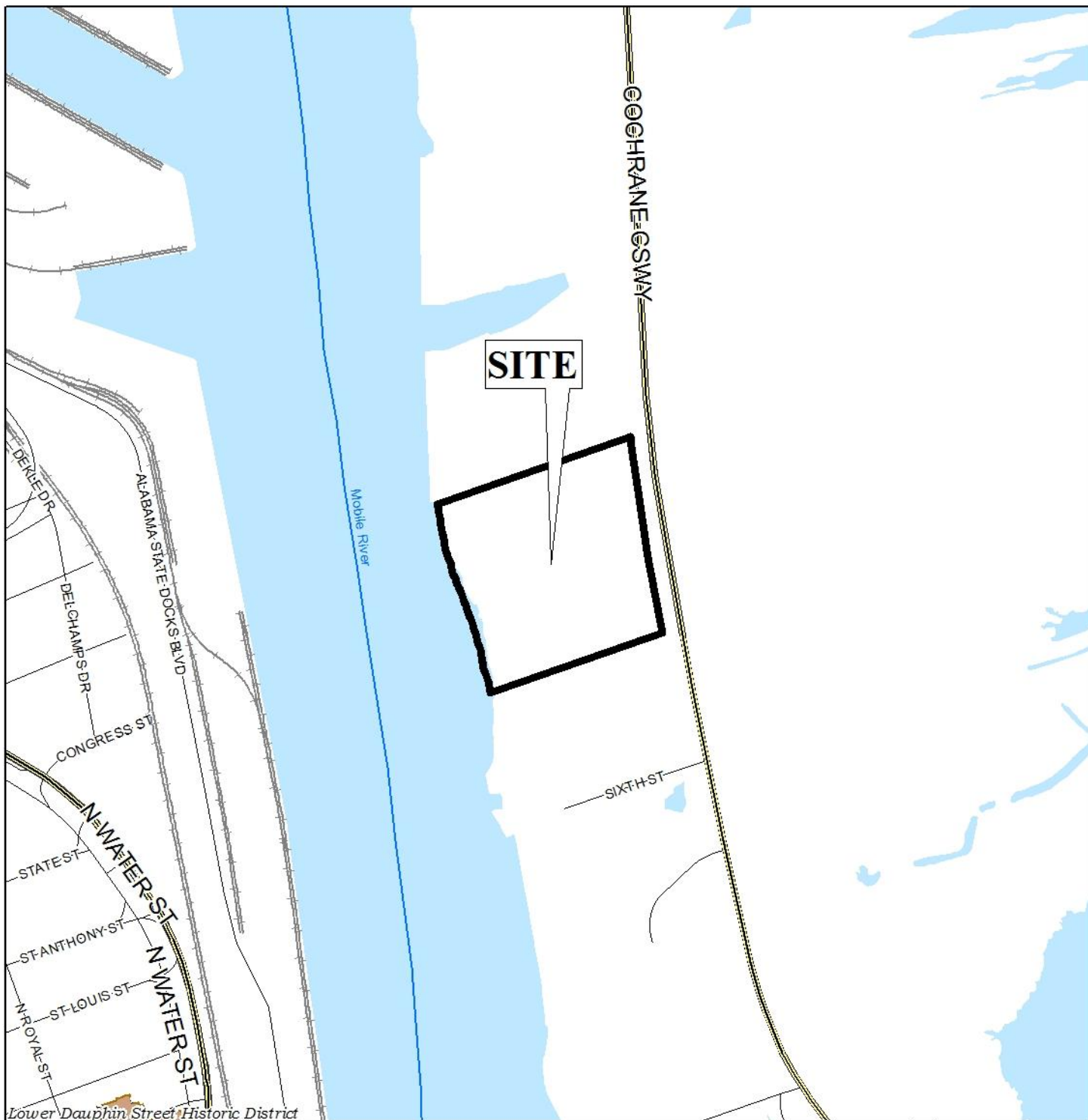
Planned Unit Development: Based upon the preceding, this application is recommended for approval, subject to the following conditions:

- 1) revision of the site plan to indicate bumper stops will be provided for nose-to-nose parking;
- 2) obtaining of after-the-fact building permits for the three existing office buildings on Parcel R022905000002008 (the Southern property);
- 3) revision of the site plan to provide compliant 24' wide paved entrance drives for both properties with 60' vehicle queuing space between the right-of-way and the gates;
- 4) placement of a note on the site plan stating that each property is limited to its existing curb cut to Cochrane Causeway, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) revision of the site plan to indicate that heritage frontage trees are proposed within the Southern property;
- 6) revision of the site plan to illustrate the 25' minimum front building setback line along Cochrane Causeway for both properties;
- 7) revision of the site plan to indicate a public sidewalk along Cochrane Causeway for the Southern property in the event the Sidewalk Waiver is denied for that property;
- 8) retention of the note on the site plan addressing the dumpster requirement;
- 9) submittal to and approval by Planning and Zoning of two (2) copies of a revised site plan prior to signing the Final Plat for the Subdivision;
- 10) subject to the Engineering comments: [ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for the construction shall include a Maintenance and Inspection Plan for the detention facility that is signed and notarized by the Owner(s). This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. 5. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of

- the necessary permits and approvals. 6. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];*
- 11) *subject to the Traffic Engineering comments: (Driveway number, size, location and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 12) *subject to the Urban forestry comments: [Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).];*
- 13) *subject to the Fire Department comments: [All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).]; and*
- 14) *submittal to and approval by Planning and Zoning of two (2) copies of a revised PUD site plan prior to signing the Final Plat for the Subdivision.*

Sidewalk Waiver: *Based upon the preceding, the Sidewalk Waiver application is recommended for approval.*

LOCATOR MAP



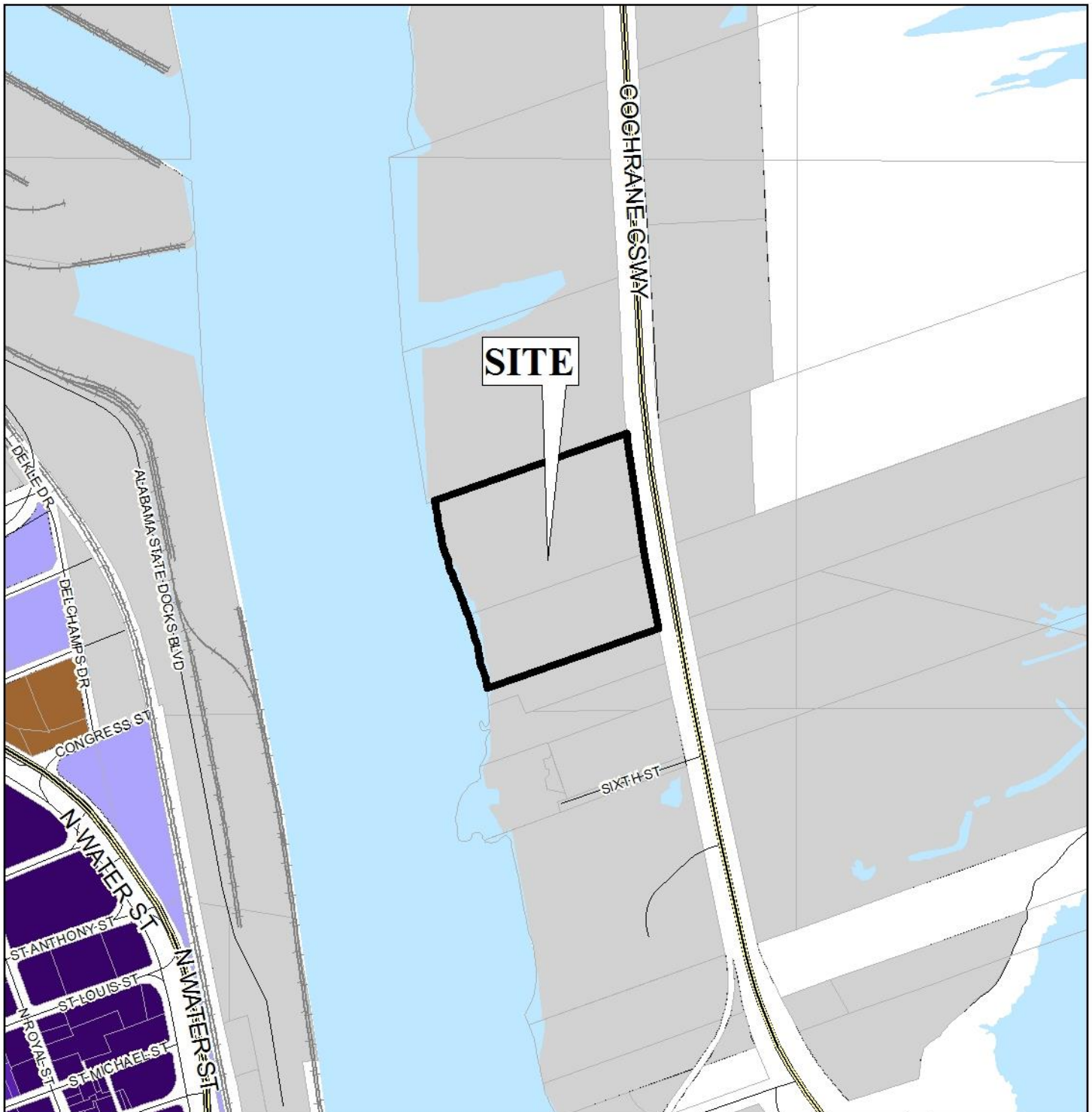
APPLICATION NUMBER 7 DATE August 17, 2017

APPLICANT Davenport Properties Subdivision, Unit Three

REQUEST Subdivision, PUD, Sidewalk Waiver



LOCATOR ZONING MAP



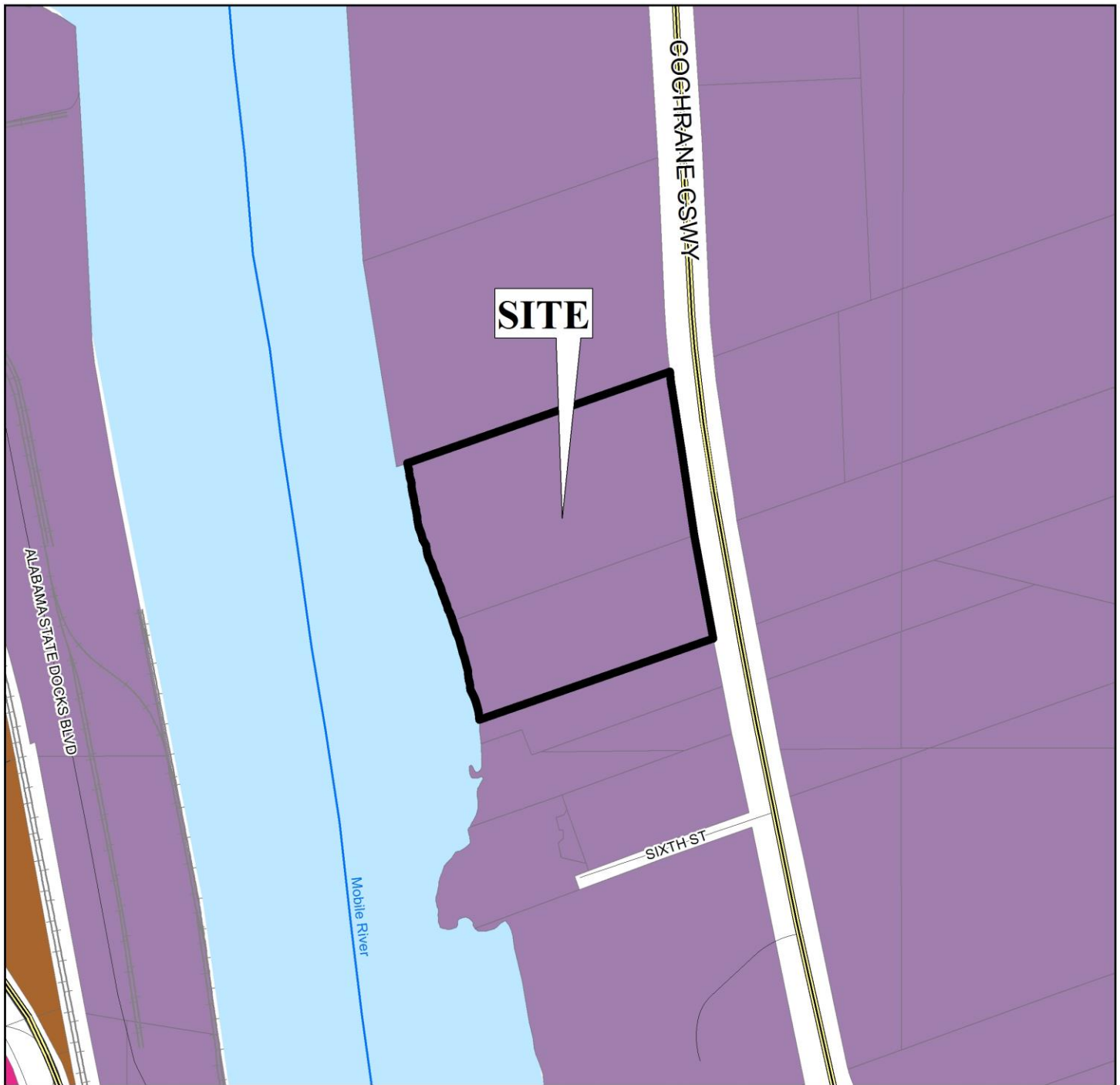
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REQUEST Subdivision, PUD, Sidewalk Waiver



FLUM LOCATOR MAP



APPLICATION NUMBER 7 DATE August 17, 2017

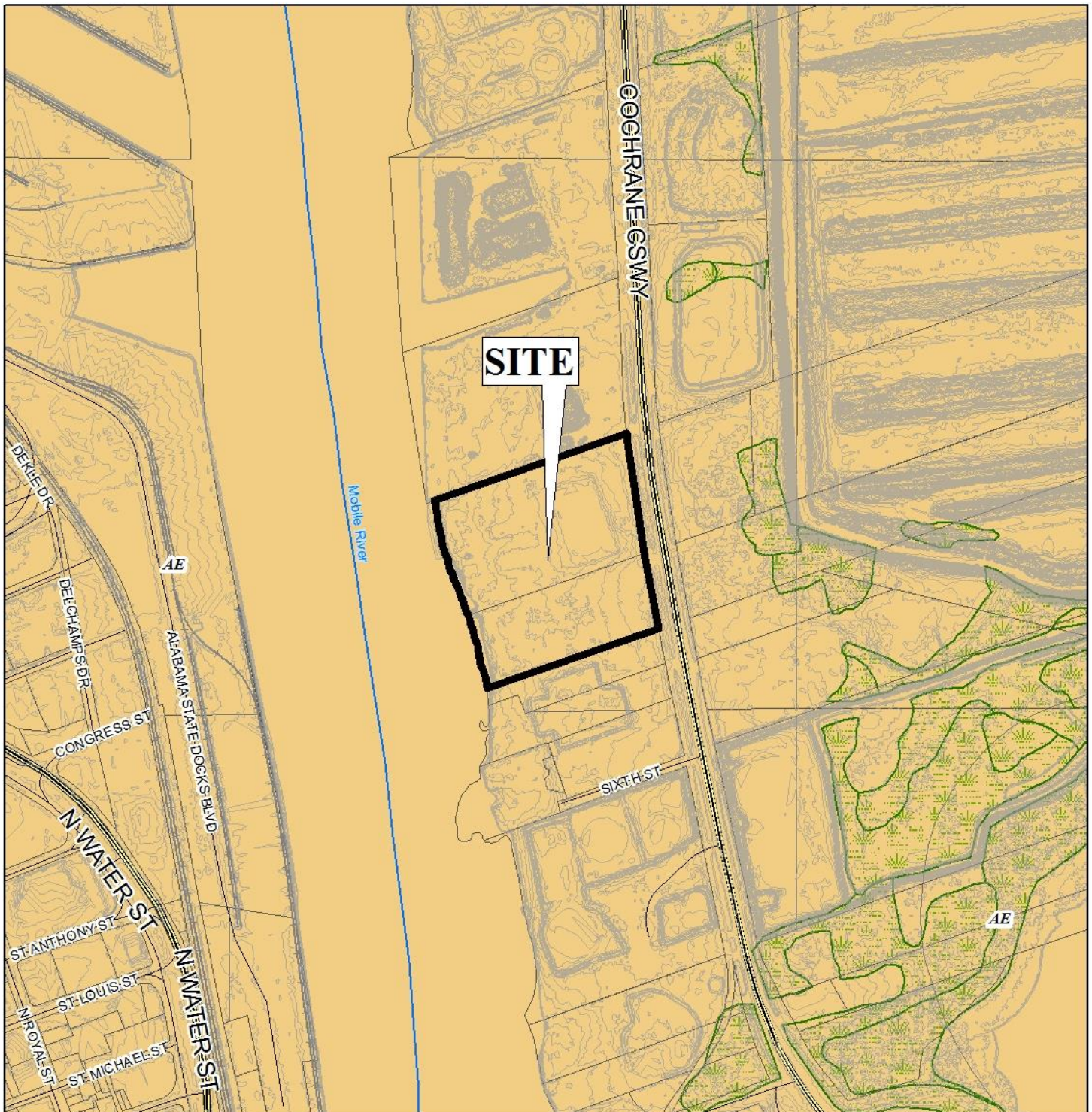
APPLICANT Davenport Properties Subdivision, Unit Three

REQUEST Subdivision, PUD, Sidewalk Waiver

Low Density Residential	Neighborhood Center- Traditional	Downtown Waterfront	Water Dependent
Mixed Density Residential	Traditional Corridor	Light Industry	Parks & Open Space
Downtown	Neighborhood Center- Suburban	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



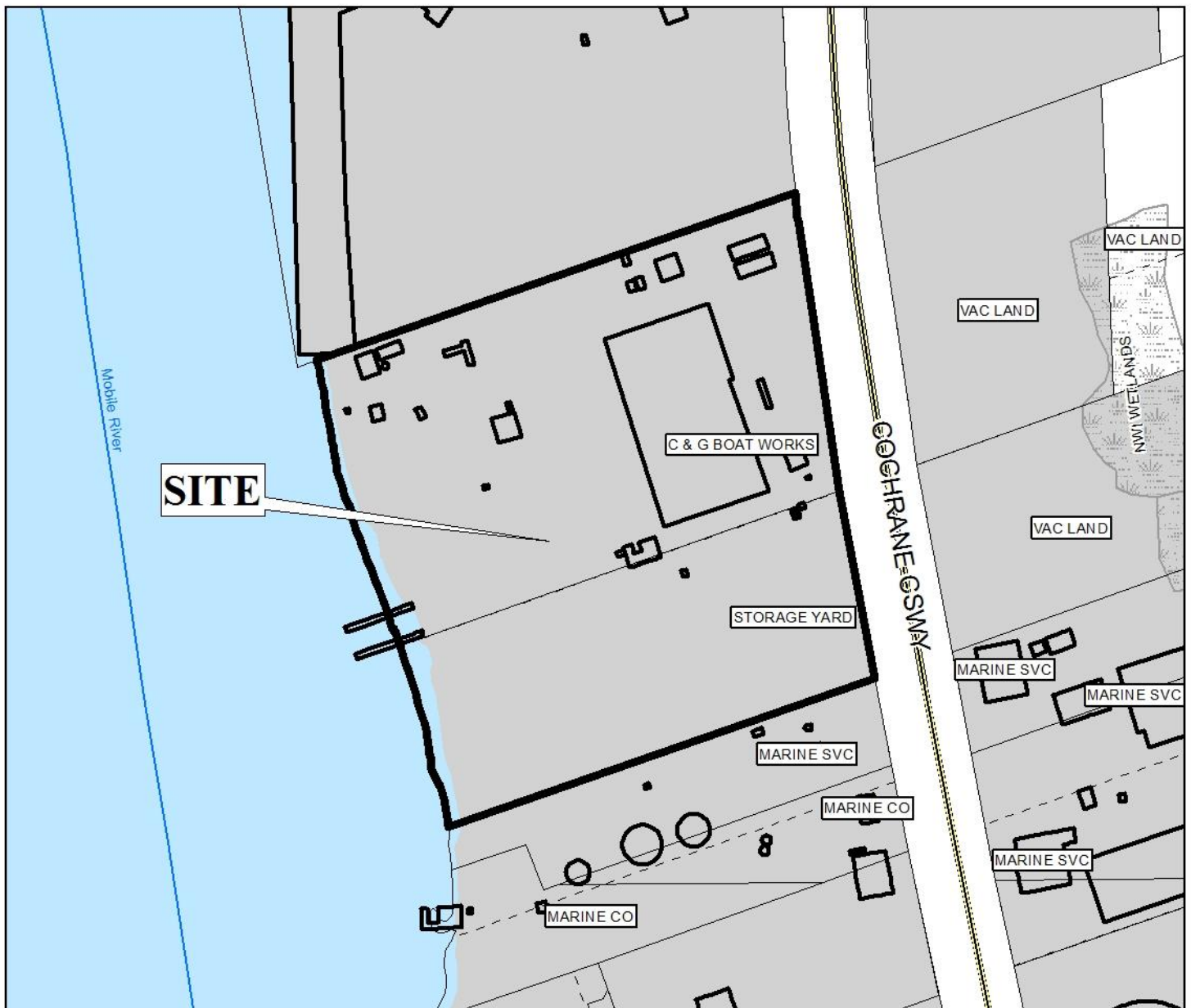
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REQUEST Subdivision, PUD, Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial units.

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REQUEST Subdivision, PUD, Sidewalk Waiver

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

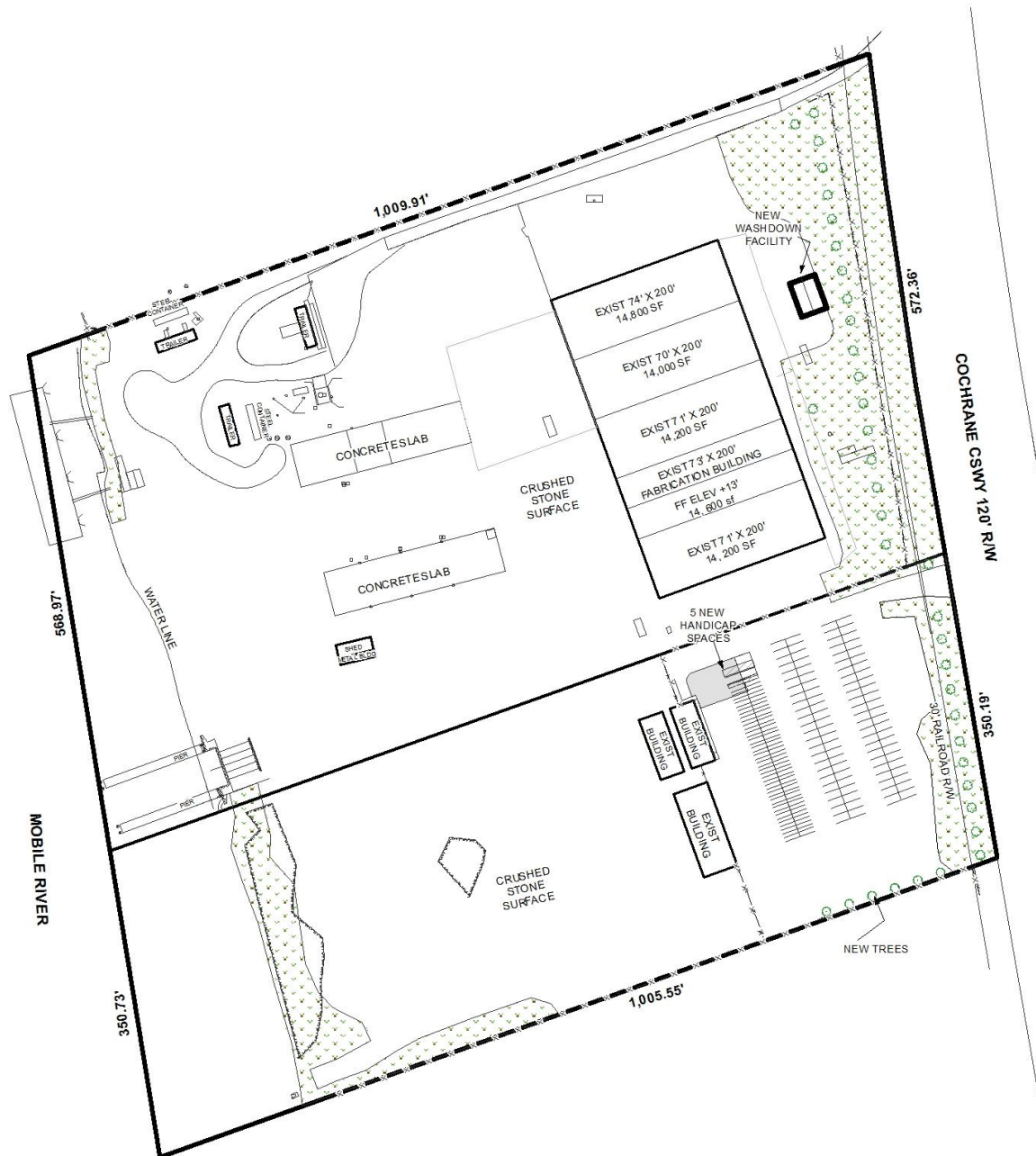


The site is surrounded by industrial units.

APPLICATION NUMBER 7 DATE August 17, 2017
APPLICANT Davenport Properties Subdivision, Unit Three
REQUEST Subdivision, PUD, Sidewalk Waiver



SITE PLAN



The site plan illustrates the existing buildings, storage containers, and the new proposed washdown facility.

APPLICATION NUMBER 7 DATE August 17, 2017

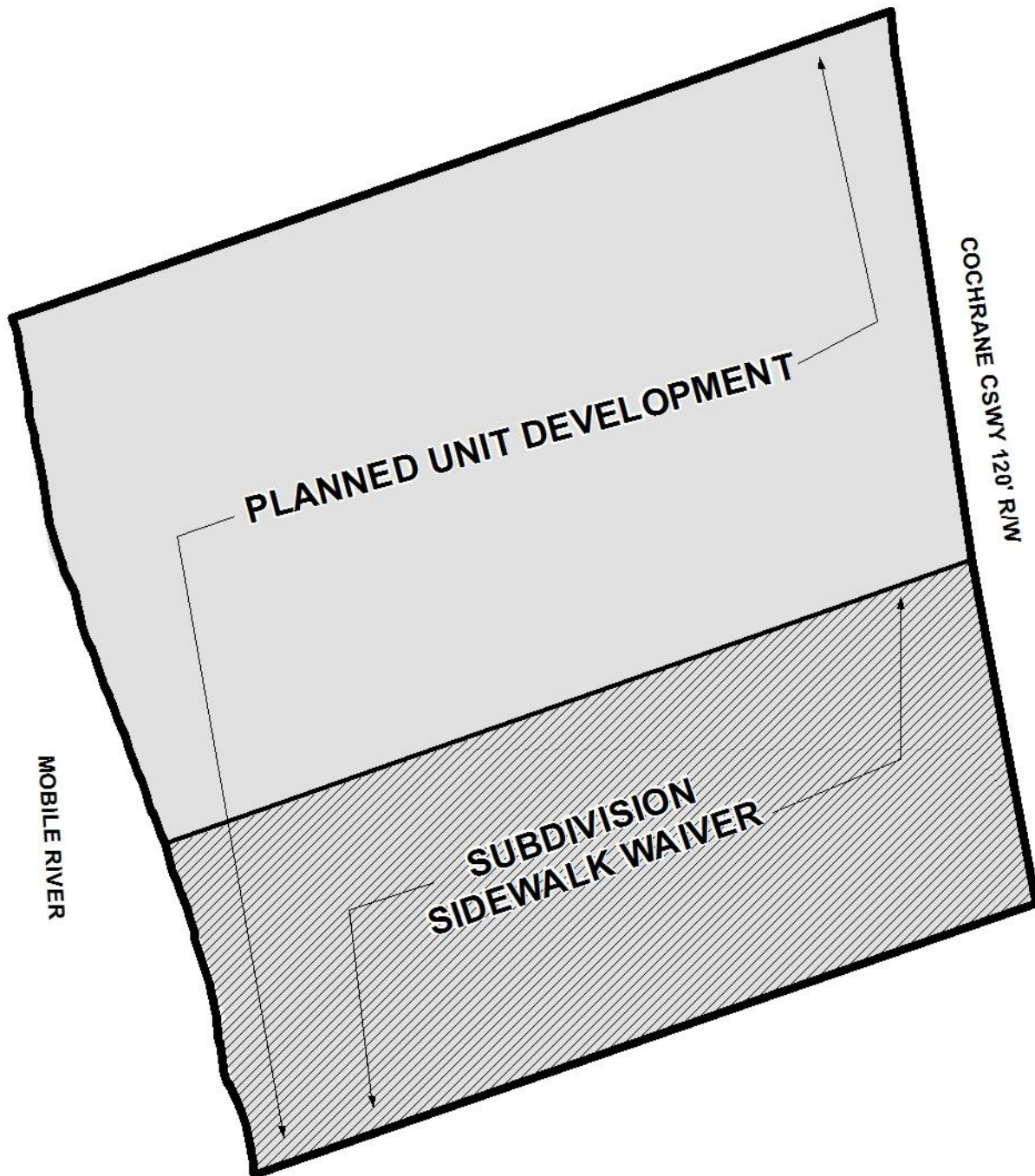
APPLICANT Davenport Properties Subdivision, Unit Three

REQUEST Subdivision, PUD, Sidewalk Waiver



NTS

DETAIL SITE PLAN



APPLICATION NUMBER 7 DATE August 17, 2017

APPLICANT Davenport Properties Subdivision, Unit Three

REQUEST Subdivision, PUD, Sidewalk Waiver



DAYTONPORT PROPERTIES, UNIT ONE
MAP BOOK 14, PAGE 41

LOT 1

1002.46'

1005.55'

350.73'

61.053'

COCHRANE CSWY 120' R/W

MOBILE RIVER

BLAKELEY BOATWORKS, INC.
7.81 ACRES
348359 SF
MINIMUM FEE = \$10.00 PER DAY

POBCT HUNTER

REQUEST _____ Subdivision, PUD, Sidewalk Waiver



NTS